

**TECHNICAL GUIDE  
APPENDIX:  
DR2 HOUSING**

# City of Houston Disaster Recovery Round 2 Design Guidebook



**Special Acknowledgement to:**  
Horne Limited Liability Partnership  
City of Houston Housing and Community Development



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# Background

## Hurricane IKE & Disaster Recovery Round 2 [DR2]

In September 2008, Hurricane Ike made landfall on the upper Texas coast, causing more than \$3 billion in damages to single family housing across the Houston metropolitan region. Many low-income homeowners impacted by the storm have not yet been able to repair or replace their homes due to limited financial resources. In response, the Texas General Land Office (GLO) granted \$152 million to the City of Houston's Housing and Community Development Department (HCDD) to administer Round 2 of the city's Disaster Recovery Program (DR2). Investment will provide relief to affected homeowners while creating areas of opportunity where neighborhood revitalization and recovery can occur.

HCDD, through an extensive analysis of Houston's social and physical conditions, identified six target neighborhoods as high opportunity areas. These Community Revitalization Areas (CRA) and CRA Outreach Areas will collectively receive up to 400 newly designed and constructed homes as part of the DR2 program.

(Disaster Recovery - Round 2 Market Analysis/Area Selection, Page 11)

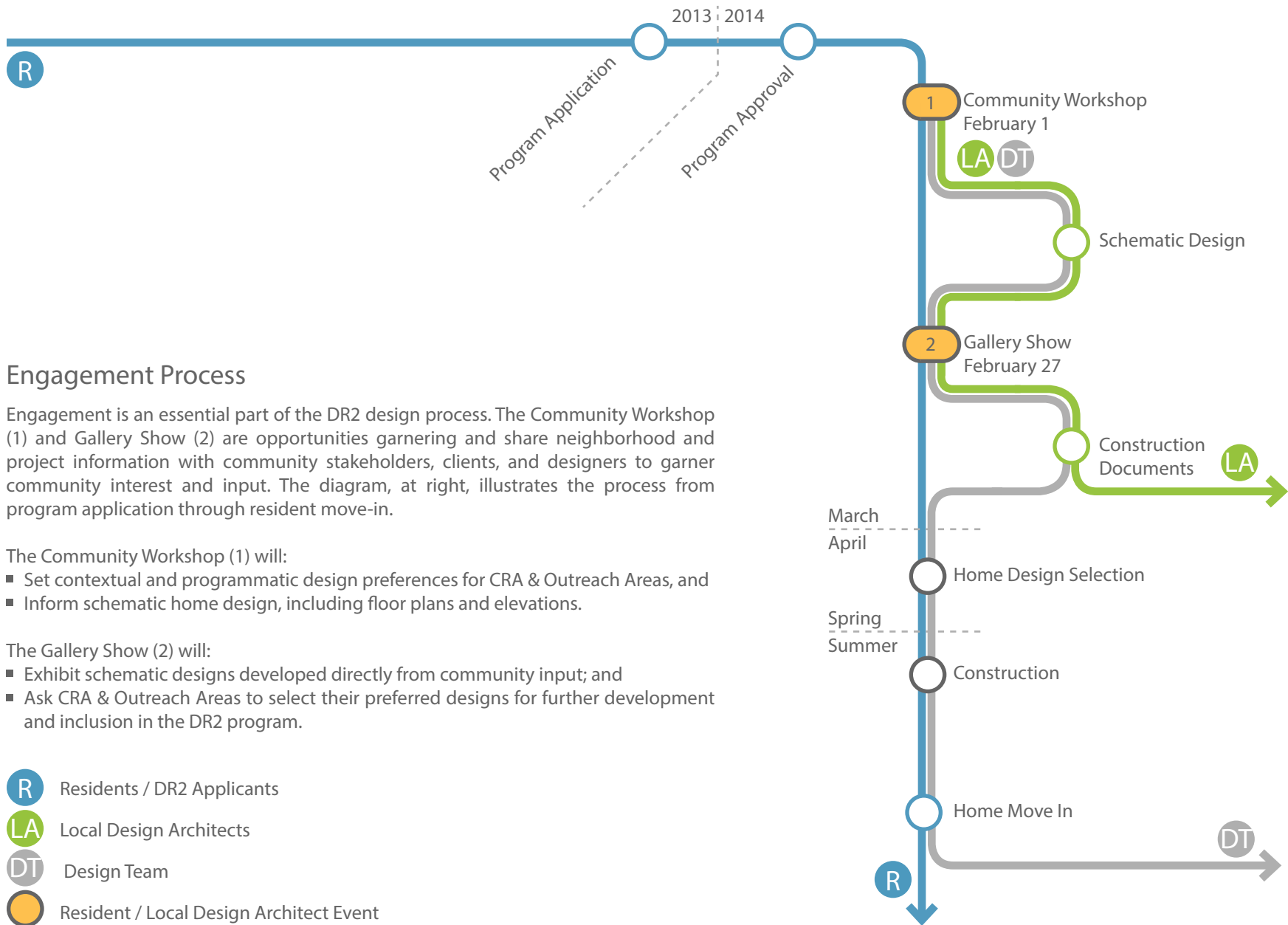


*Hurricane Ike Storm Damage, Houston Texas*

# Approach

## Problem Statement

The design team, led by bcWORKSHOP and supported by Gulf Coast Community Design Studio, Unabridged Architecture, and the University of Houston Community Design Resource Center, is working to deliver single family DR2 infill home designs. These designs will be used in constructing homes across the six CRA & Outreach Areas. The team is committed to delivering high-quality cost-effective sustainable designs that respect the communities interests and character while offering individual homeowner choice. In order to achieve this, the design team has developed an engagement process involving neighborhood residents, community leaders, and local design architects.



## Engagement Process

Engagement is an essential part of the DR2 design process. The Community Workshop (1) and Gallery Show (2) are opportunities garnering and share neighborhood and project information with community stakeholders, clients, and designers to garner community interest and input. The diagram, at right, illustrates the process from program application through resident move-in.

The Community Workshop (1) will:

- Set contextual and programmatic design preferences for CRA & Outreach Areas, and
- Inform schematic home design, including floor plans and elevations.

The Gallery Show (2) will:

- Exhibit schematic designs developed directly from community input; and
- Ask CRA & Outreach Areas to select their preferred designs for further development and inclusion in the DR2 program.

- R** Residents / DR2 Applicants
- LA** Local Design Architects
- DT** Design Team
- 1** Resident / Local Design Architect Event



# City Context

## CRA and Outreach Areas

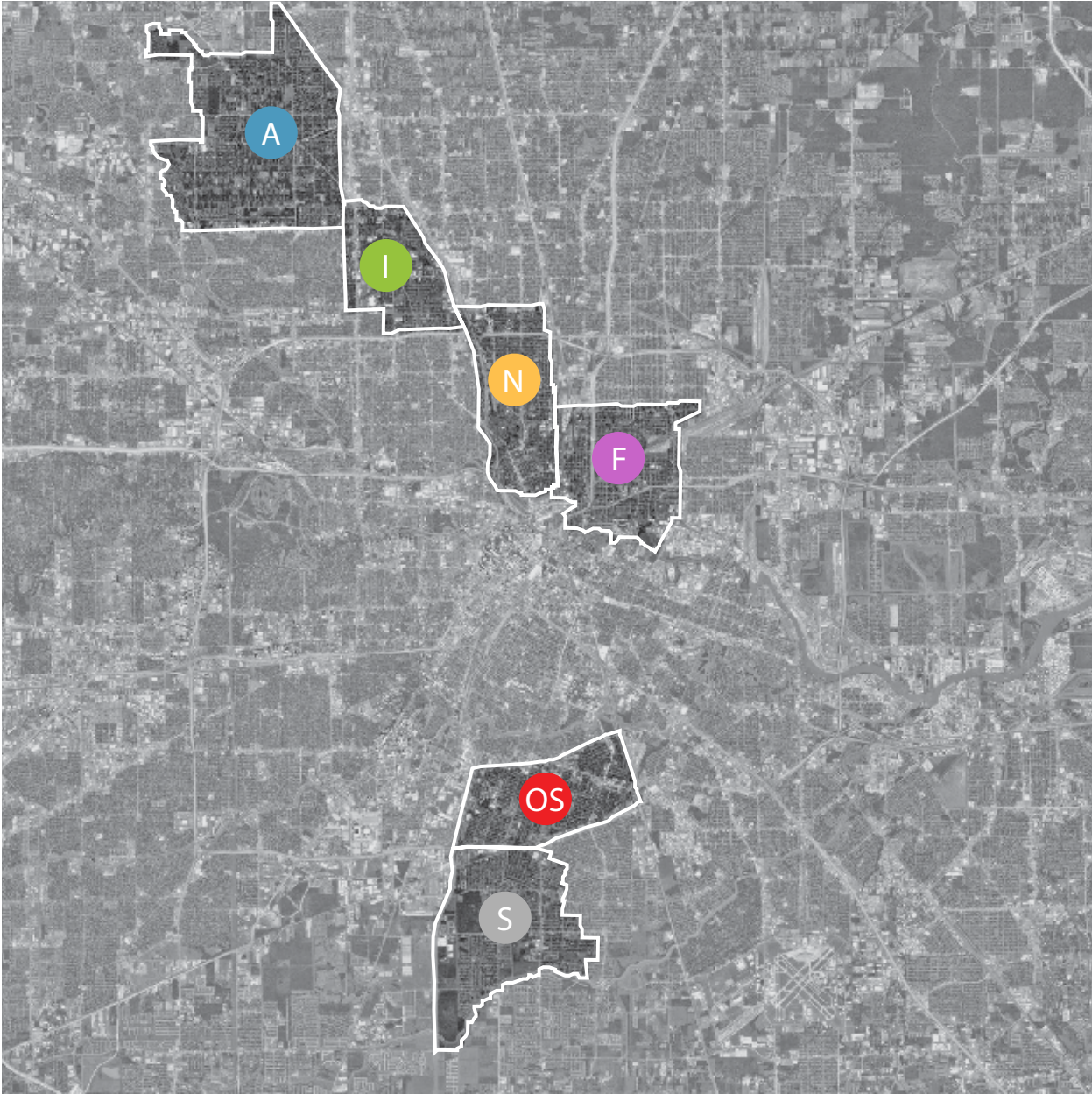
In order to maximize the impact and amount of community revitalization as a result of the Round 2 funding, the City of Houston Housing and Community Development Department (HCDD), the Houston Housing Authority (HHA), and stakeholder groups identified six areas of high investment opportunity. The six areas are divided into Community Revitalization Areas (CRAs), or primary investment areas, and CRA Outreach Areas, or secondary investment areas. Although common themes exist between communities, each area has its own unique history, social dynamics, and physical context. Areas include:

### **Community Revitalization Areas (CRA)**

- Near Northside or Northside Village (N)
- Greater Fifth Ward (F)
- Old Spanish Trail/South Union (OS)

### **CRA Outreach Areas**

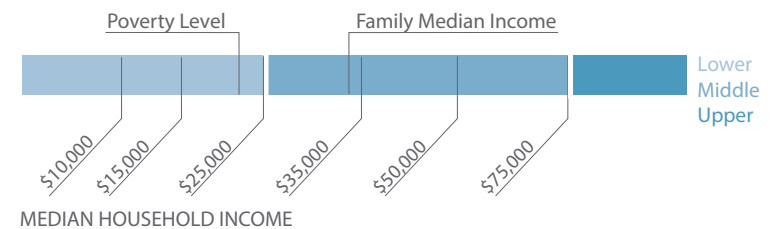
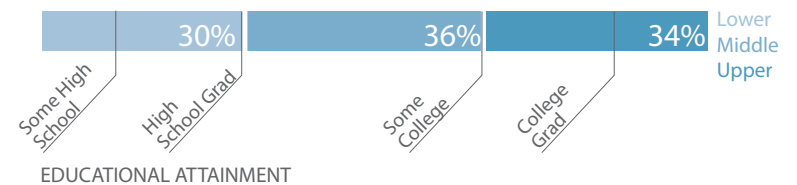
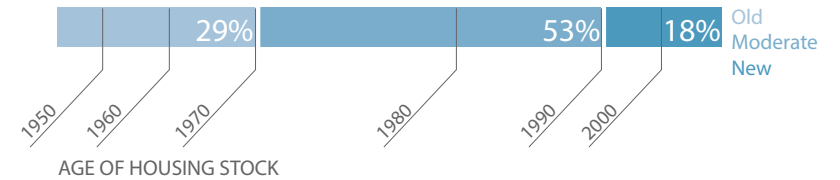
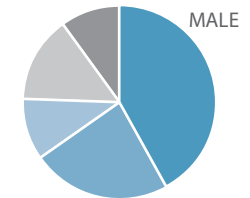
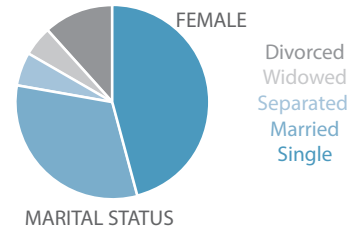
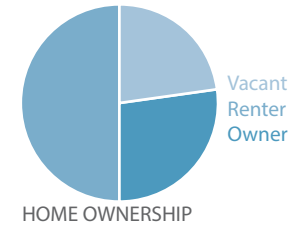
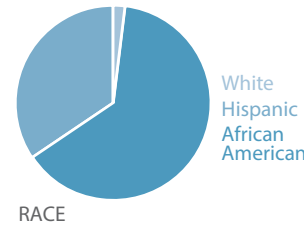
- Acres Homes (A)
- Independence Heights (I)
- Sunnyside (S)

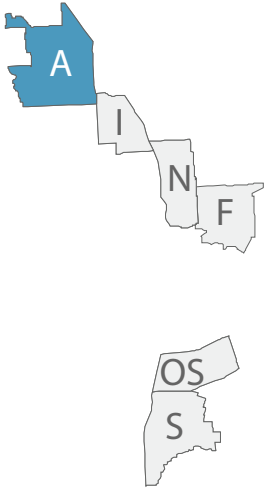


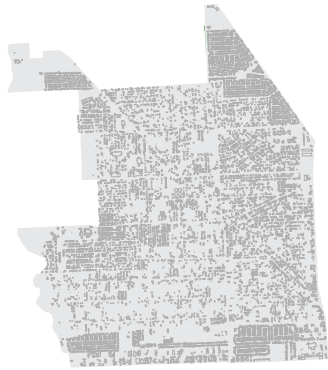
# Acres Homes

## Neighborhood Overview

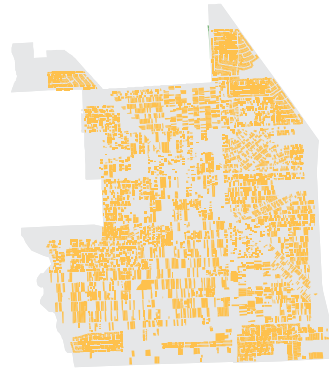
Acres Homes was once considered the South's largest unincorporated African American community. First platted by the Wright Land Company in 1917, undeveloped lots were sold by the acre, which is how the area derived its name. The rural homesites were inexpensive and afforded low taxes. They were sized to allow small gardens, farm animals, and had no building codes. Despite resident's efforts to develop infrastructure, the settlement was unable to maintain itself, due to poverty. In the early 1970's Acres Homes was annexed into the City of Houston, with city water and sewer services planned for the area. When annexed, Acres Homes was a 12½-square-mile, heavily wooded, dispersed settlement without transportation or educational facilities. While 90% of residents were homeowners, much of the housing was in substandard condition at that time. By the 1980's, the community had become a sprawling working-class neighborhood of well-kept, brick and wood frame homes interspersed with abandoned cottages.



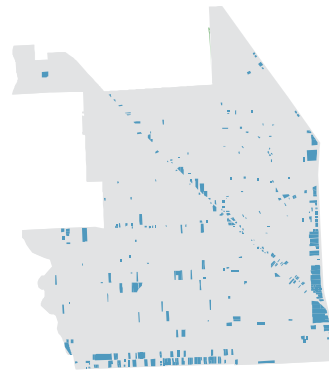




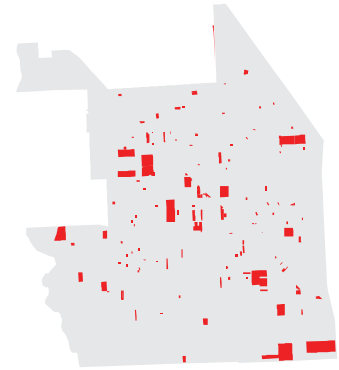
Building Footprint



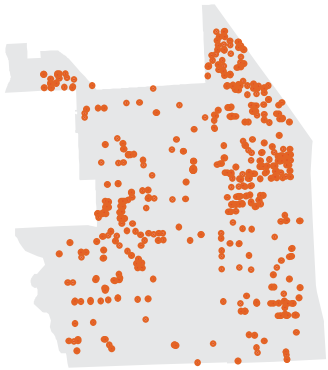
Residential



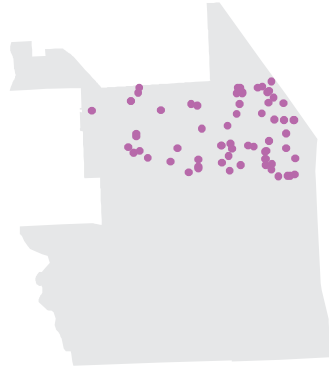
Commercial



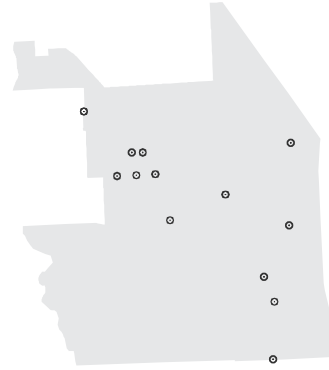
Public Institutions



Homes Damaged by Ike



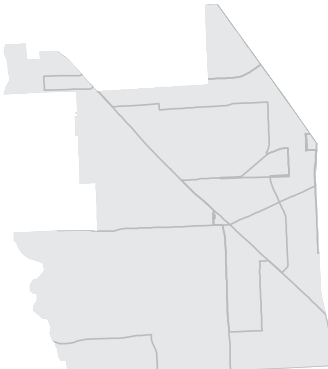
DR2 Applicants



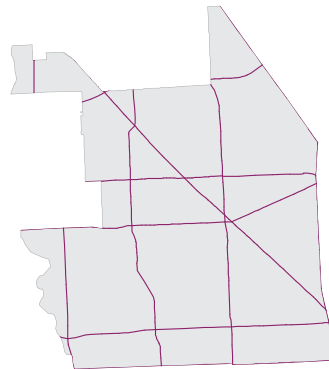
Schools



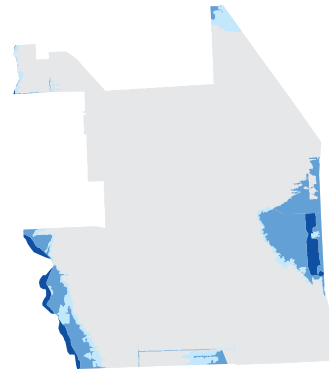
Transportation & Utilities



Major Arterials



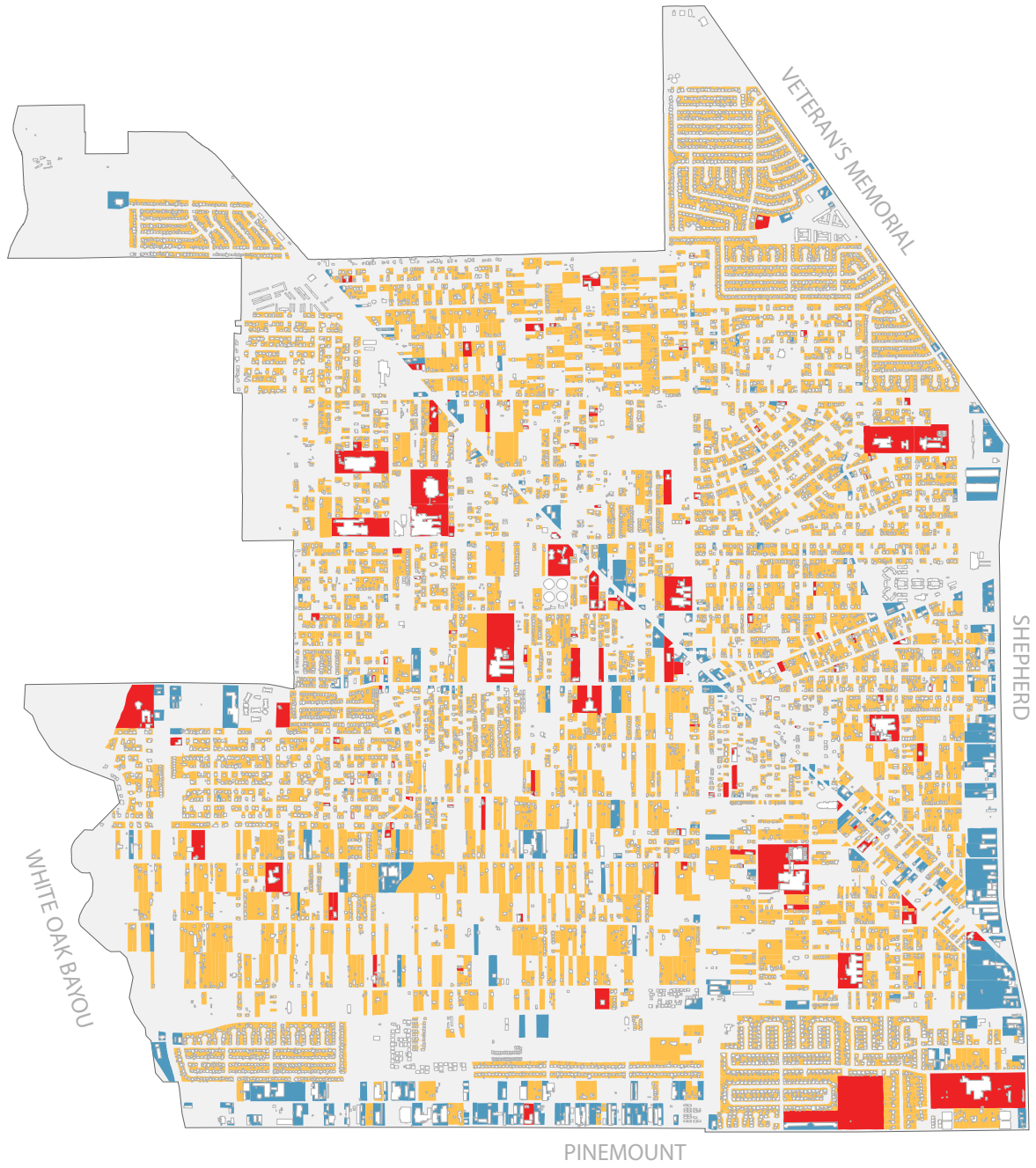
Metro Routes



100 - 500 Year Flood Plain



Acres Homes





- 1 Driveway condition: side yard, paved and unpaved
- 2 Cladding: wood siding, various applications
- 3 Sidewalk condition: no curb, gutter, or sidewalks
- 4 Carport: occasionally seen, metal or wood coverings

- 5 Entrance sequence: bridge connections to street
- 6 Stormwater: open system, ditch in public right of way
- 7 Foundation: typically pier and beam
- 8 Vegetation: mature trees



### Burg Street

Program: 2-3 bedroom 1-2 bath

Home Size: 672 - 2,411 SF





- 1 Driveway condition: side yard and front yard, paved
- 2 Cladding: brick and wood siding, various applications
- 3 Sidewalk condition: curb and gutter, no sidewalks
- 4 Garage: front, some garages enclosed for living space

- 5 Entrance sequence: driveways used as pedestrian path
- 6 Stormwater: closed system
- 7 Foundation: slab on grade
- 8 Porch condition: semi-private, front stoops



Diplomat Way  
Program: 2-3 bedroom 1-2 bath  
Home Size: 672 - 2,411 SF



**Acres Homes Typical Lot Size**

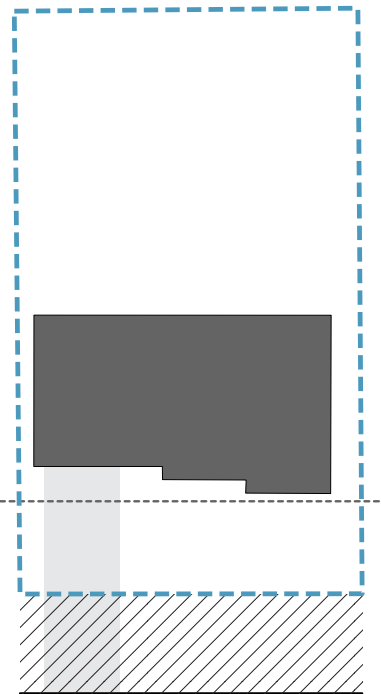
Typical Lot Dimensions: 55' x 104'  
 Typical Lot Area: 5720 sqft

Minimum Lot Width: 45'  
 Minimum Lot Length: 104'

Maximum Lot Width: 70'  
 Maximum Lot Length: 317'

Typical Front Setback: 25'

**Right of Way: Street Curb, Sidewalk,  
 and Storm Drainage Ditch**

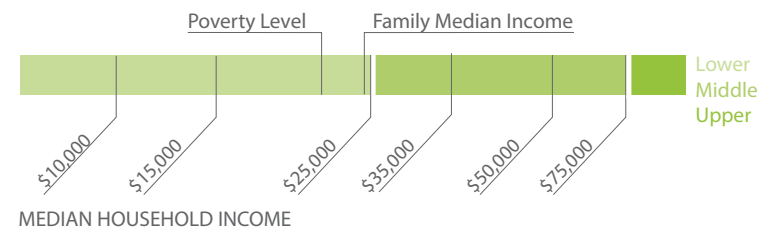
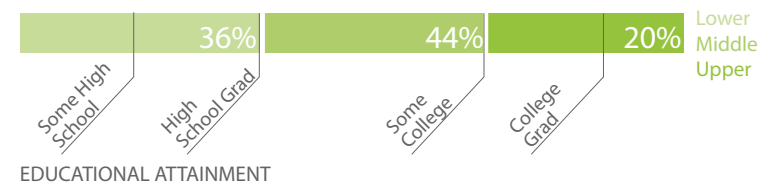
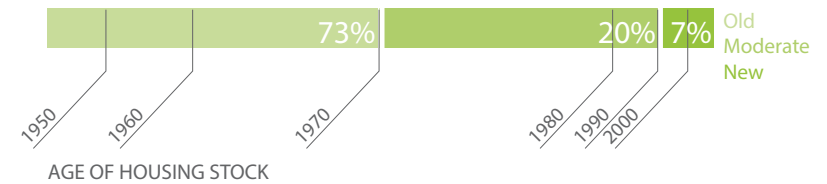
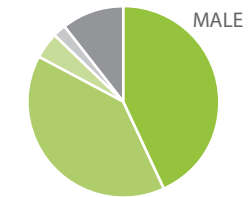
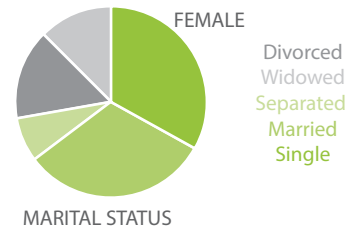
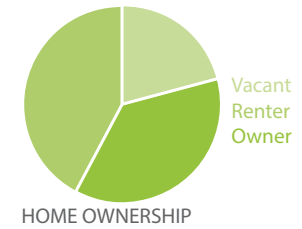
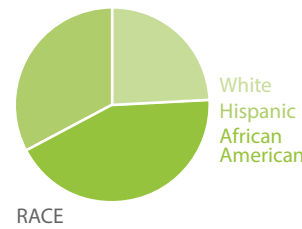


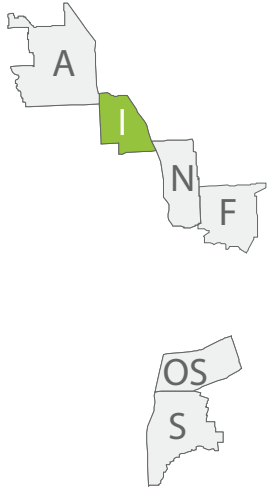
Notes.

# Independence Heights

## Neighborhood Overview

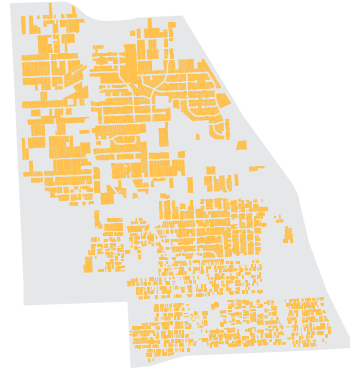
Developed by Wright Land Company, Independence Heights became the first African American municipality in Texas. The company began selling 25-foot lots in 1908 to middle-class black residents who moved from other areas of the city. It became an incorporated city in 1915. Houses were designed by the new residents and constructed by local African American builders. These homes had electric lights, water, shell streets, plank sidewalks, and were heated by natural gas. The population grew from around 400 in 1915 to more than 3,500 in 1929. The City of Houston formally annexed Independence Heights in December of 1929. Prior to annexation, the City of Independence Heights had a municipally owned water source, electric lights, several churches, and about 40 black-owned businesses. These included grocery stores, restaurants, a railroad terminal, a lumber company, and the Lincoln Theater, the only black theater in Houston at the time. A rail line used for public transportation ran a loop through Independence Heights. Despite annexation, investments that were supposed to bring improvements to the area, were never realized due to the Stock Market Crash of 1929 and the Great Depression.



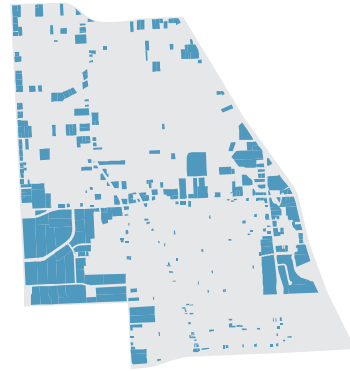




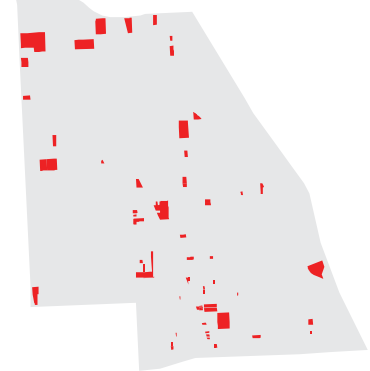
Building Footprint



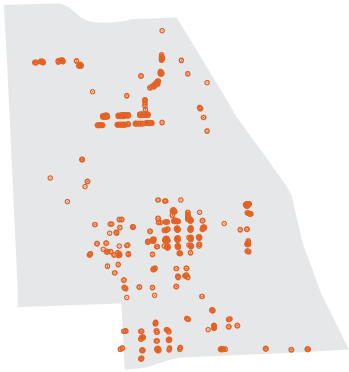
Residential



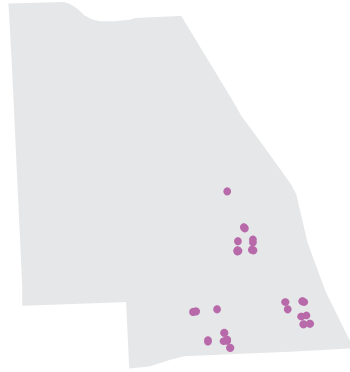
Commercial



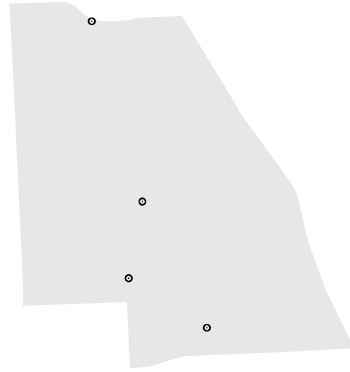
Public Institutions



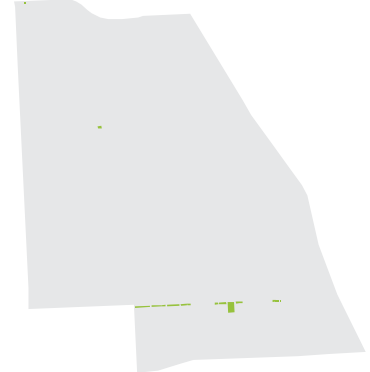
Homes Damaged by Ike



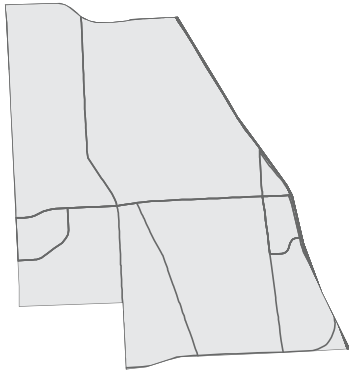
DR2 Applicants



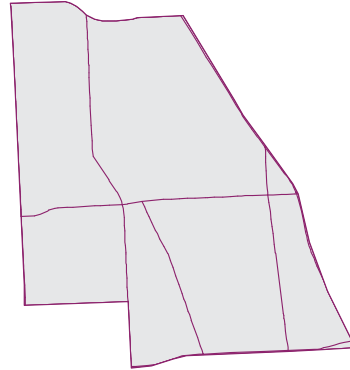
Schools



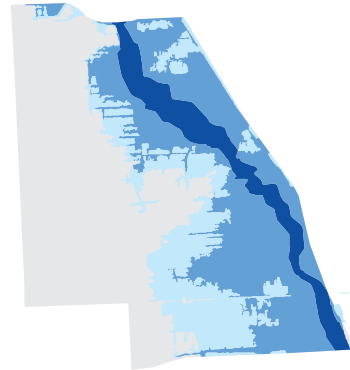
Transportation & Utilities



Major Arterials



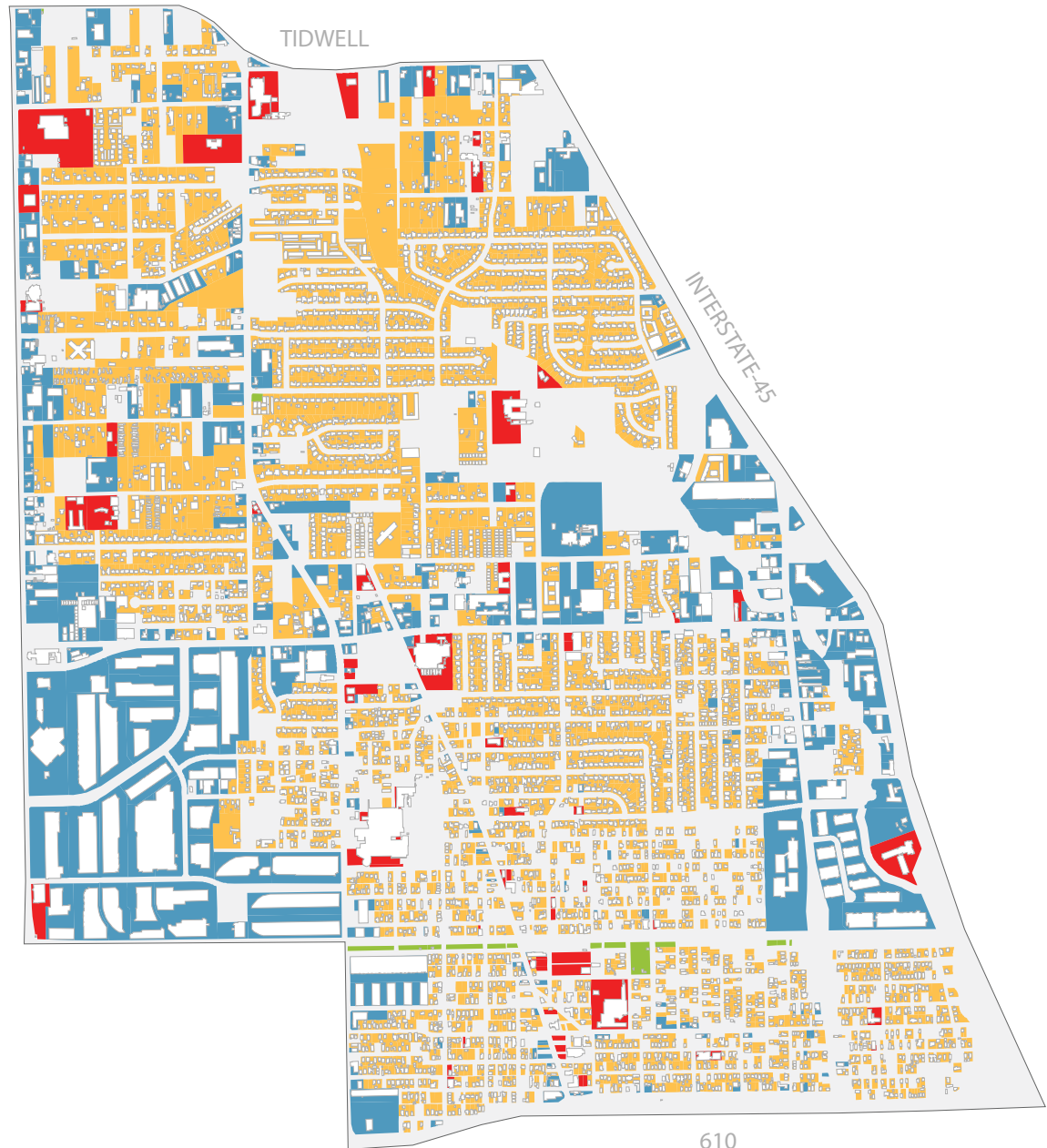
Metro Routes



100 - 500 Year Flood Plain



Independence Heights



610





- 1 Vacant lot: scattered throughout neighborhood
- 2 Cladding: wood siding, pops of color
- 3 Privacy: metal fences enclose site
- 4 Carport: rear yard, metal or wood coverings

- 5 Entrance sequence: driveway connections to street
- 6 Vegetation: mature trees
- 7 Foundation: typically pier and beam
- 8 Porch condition: partially enclosed, front stoops



Delhi Street  
Program: 2-3 bedroom 1-2 bath  
Home Size: 976 - 21,410 SF



- 1 Driveway condition: side yard, paved and unpaved
- 2 Cladding: wood and brick siding, various trim details
- 3 Sidewalk condition: no curb, gutter, or sidewalks
- 4 Garages and carports: rear yard, additional storage

- 5 Entrance sequence: driveway and pathways
- 6 Stormwater: open system, ditch in public right of way
- 7 Porches: space for gathering, front stoops
- 8 Yard conditions: typically fenced, well maintained



Dehli Street

Program: 2-3 bedroom 1-2 bath

Home Size: 976 - 21,410 SF



Independence Heights Typical Lot Size

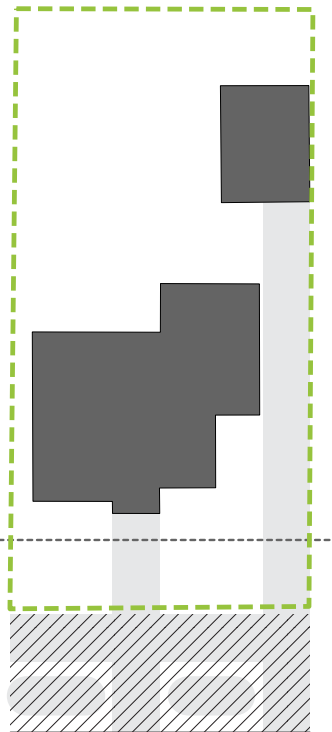
Typical Lot Dimensions: 55' x 104'  
 Typical Lot Area: 5720 sqft

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 Minimum Lot Length: 104'

Maximum Lot Width: 70'  
 Maximum Lot Length: 317'

Typical Front Setback: 25'

Right of Way: Street Curb, Sidewalk,  
 and Storm Drainage Ditch

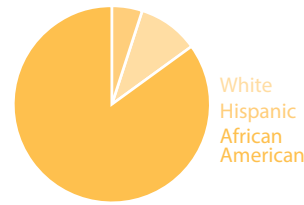


Notes.

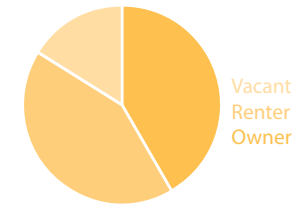
# Near Northside

## Neighborhood Overview

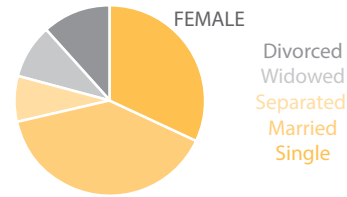
Near Northside, also known as Northside Village, was originally developed in the 1890's and was once part of the Fifth Ward. In the early 1900's, the area was predominantly occupied by people of European descent who worked at the nearby Southern Pacific Hardy Rail Yard. Houston was a rail town at the time, boasting more railroad traffic than any city south of St. Louis. The Northside expanded with the Ryon Addition in the 1910's, The Irvington Addition in the 1920's and Lindale Park in 1930's. After World War II, as railroad traffic declined, the population changed with increased Hispanic population. The original street grid still remains, with commercial structures facing the major thoroughfares and rows of one-story houses on more residential scaled streets.



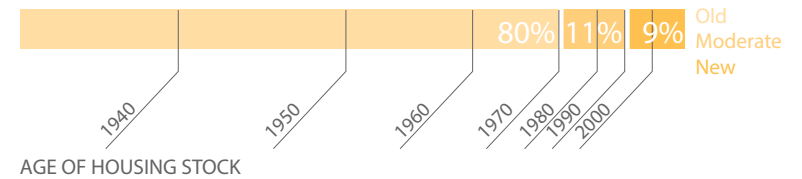
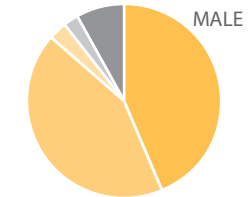
RACE



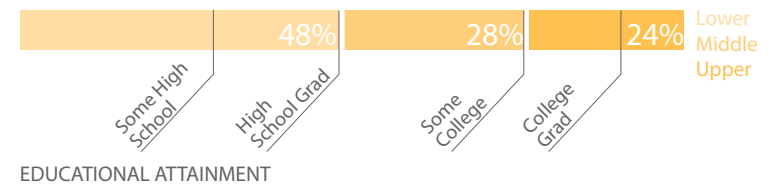
HOME OWNERSHIP



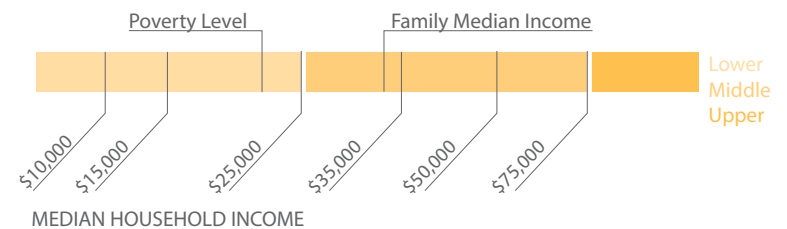
MARITAL STATUS



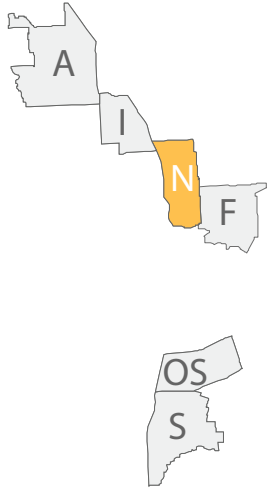
AGE OF HOUSING STOCK



EDUCATIONAL ATTAINMENT



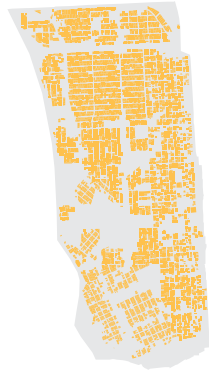
MEDIAN HOUSEHOLD INCOME



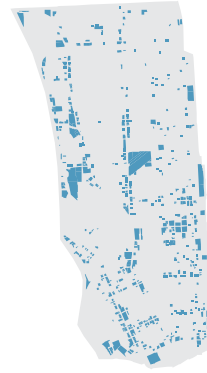




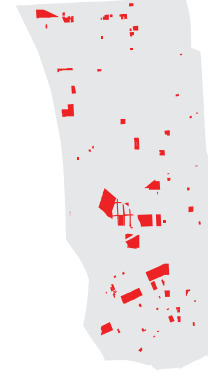
Building Footprint



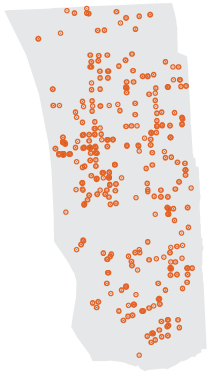
Residential



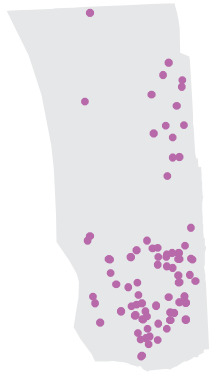
Commercial



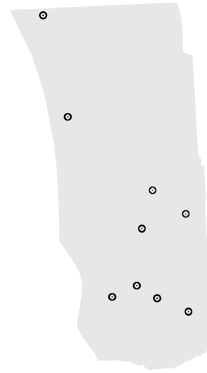
Public Institutions



Homes Damaged by Ike



DR2 Applicants



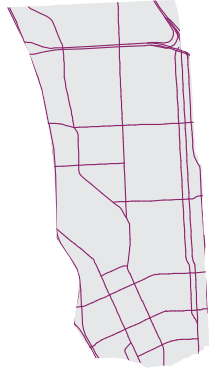
Schools



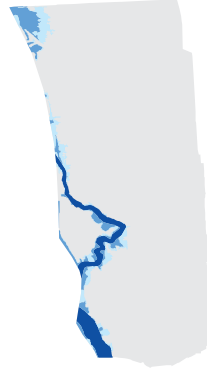
Transportation & Utilities



Major Arterials



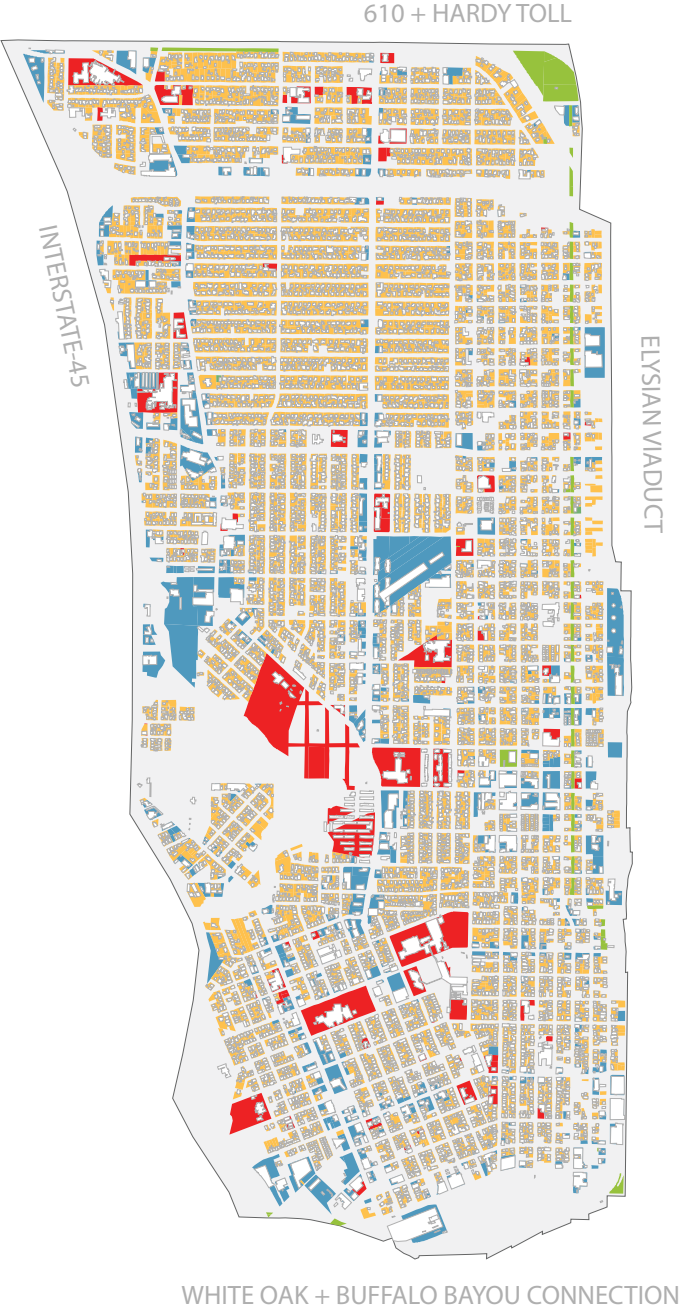
Metro Routes



100 - 500 Year Flood Plain



Near Northside





- 1 Driveway: side yard, paved and unpaved
- 2 Cladding: wood siding, pops of color
- 3 Rafter detail: exposed tails, various detailing
- 4 Porch detail: exposed beams, various column details
- 5 Porch: open, gracious spaces, room for furniture
- 6 Garage and back houses: rear structure
- 7 Roof vent: gable vents
- 8 Stormwater: open system, ditch in public right of way



Century Road  
Program: 2-5 bedroom 1-3 bath  
Home Size: 951 - 3,042 SF

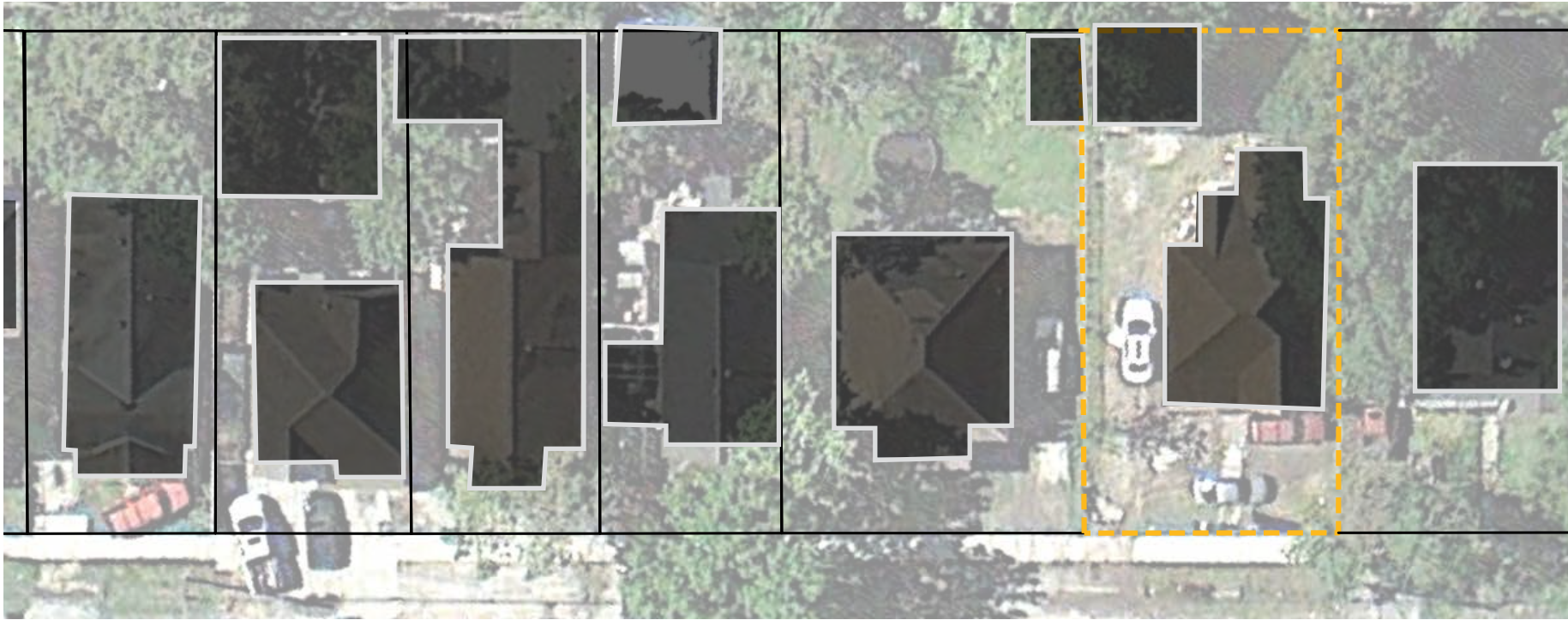


- 1 Rafter: kickers supporting fly rafter
- 2 Cladding: wood and brick veneer
- 3 Privacy: metal fences enclose site
- 4 Garage and carport: side and rear yard

- 5 Front and side yard: narrow setbacks, dense lots
- 6 Vegetation: mature trees
- 7 Foundation: pier and beam
- 8 Porch: somewhat enclosed, dropped beams



Century Road  
Program: 2-5 bedroom 1-3 bath  
Home Size: 951 - 3,042 SF



**Near Northside Typical Lot Size**

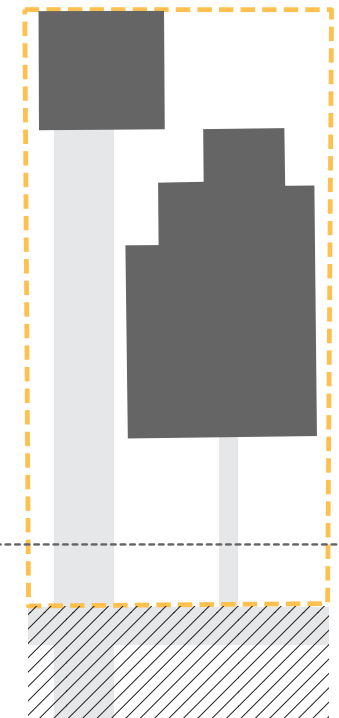
Typical Lot Dimensions: 50' x 100'  
 Typical Lot Area: 5000 sqft

Minimum Lot Width: 30'  
 Minimum Lot Length: 100'

Maximum Lot Width: 50'  
 Maximum Lot Length: 125'

**Typical Front Setback: 25'**

**Right of Way: Street Curb and Sidewalk**



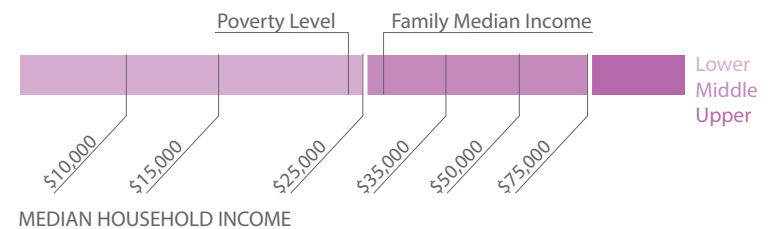
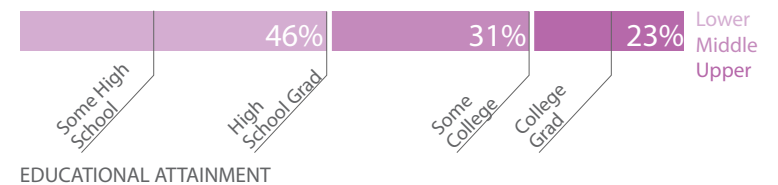
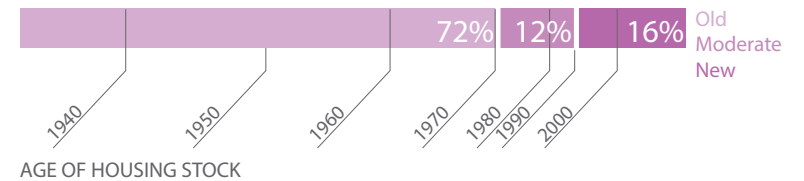
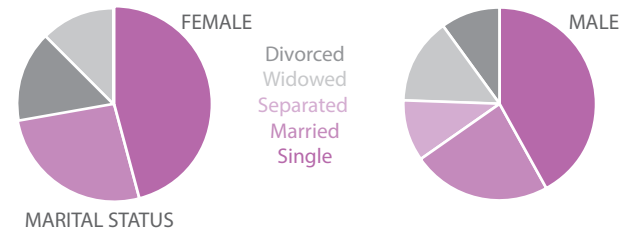
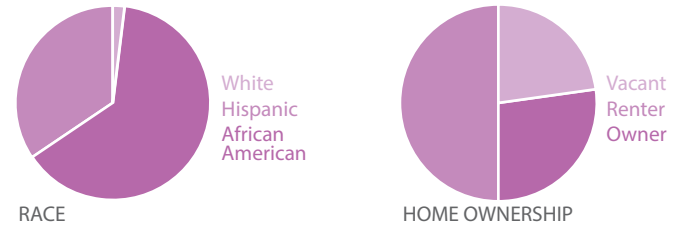
Notes.

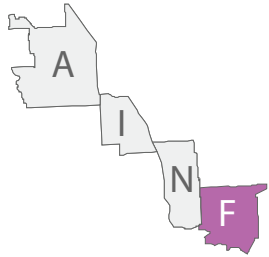


# Fifth Ward

## Neighborhood Overview

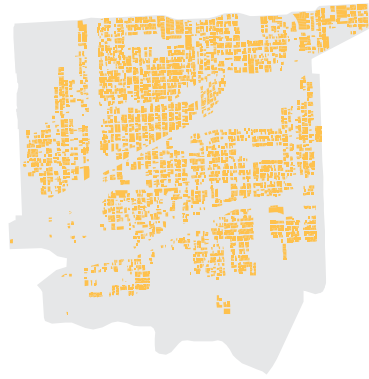
After the American Civil War, newly freed slaves began settling the area today known as Northside and Greater Fifth Ward. In 1866, the City of Houston christened the area the Fifth Ward or "The Nickel" as it came to be nicknamed. By 1870 the population was 50% African American and 50% white residents. By the mid-1880's, Fifth Ward became home to a nearly all African American working class community. In the 1930's, the neighborhood was described as "one of the proudest black neighborhoods" in the United States. Black-owned and operated businesses flourished within the community until the 1950's. In the 1970's and 1980's the Fifth Ward became notorious throughout Houston for the violence perpetrated in the community. Since the 1990's, however, Fifth Ward has undergone multiple revitalization efforts by community organizations.



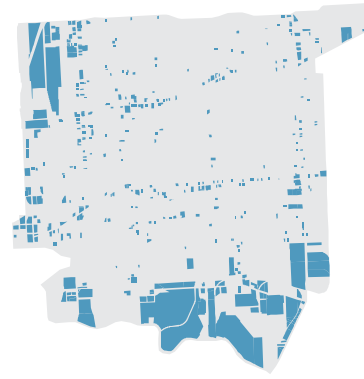




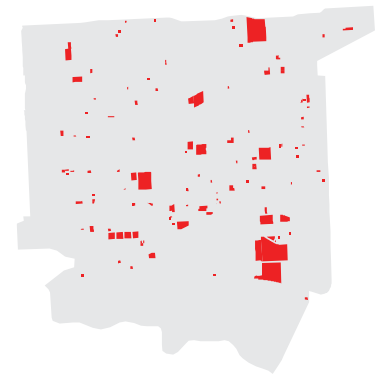
Building Footprint



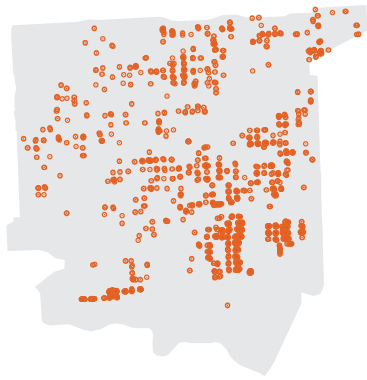
Residential



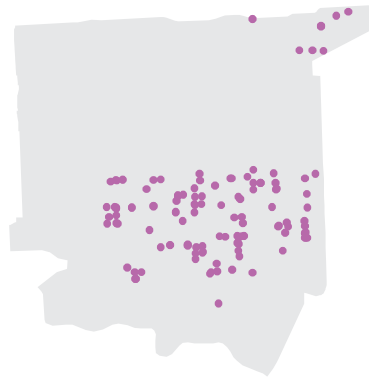
Commercial



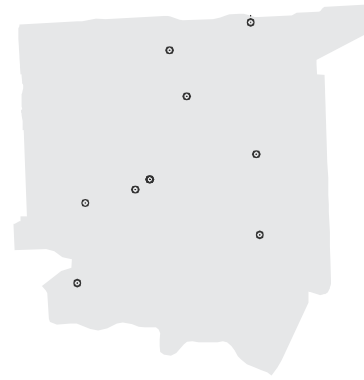
Public Institutions



Homes Damaged by Ike



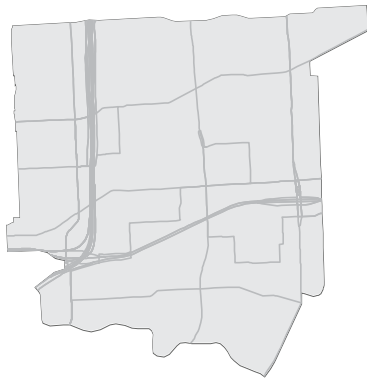
DR2 Applicants



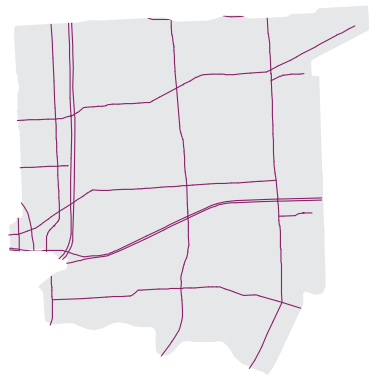
Schools



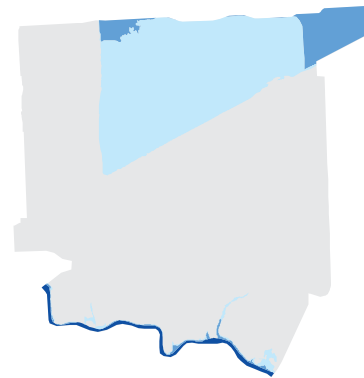
Transportation & Utilities



Major Arterials



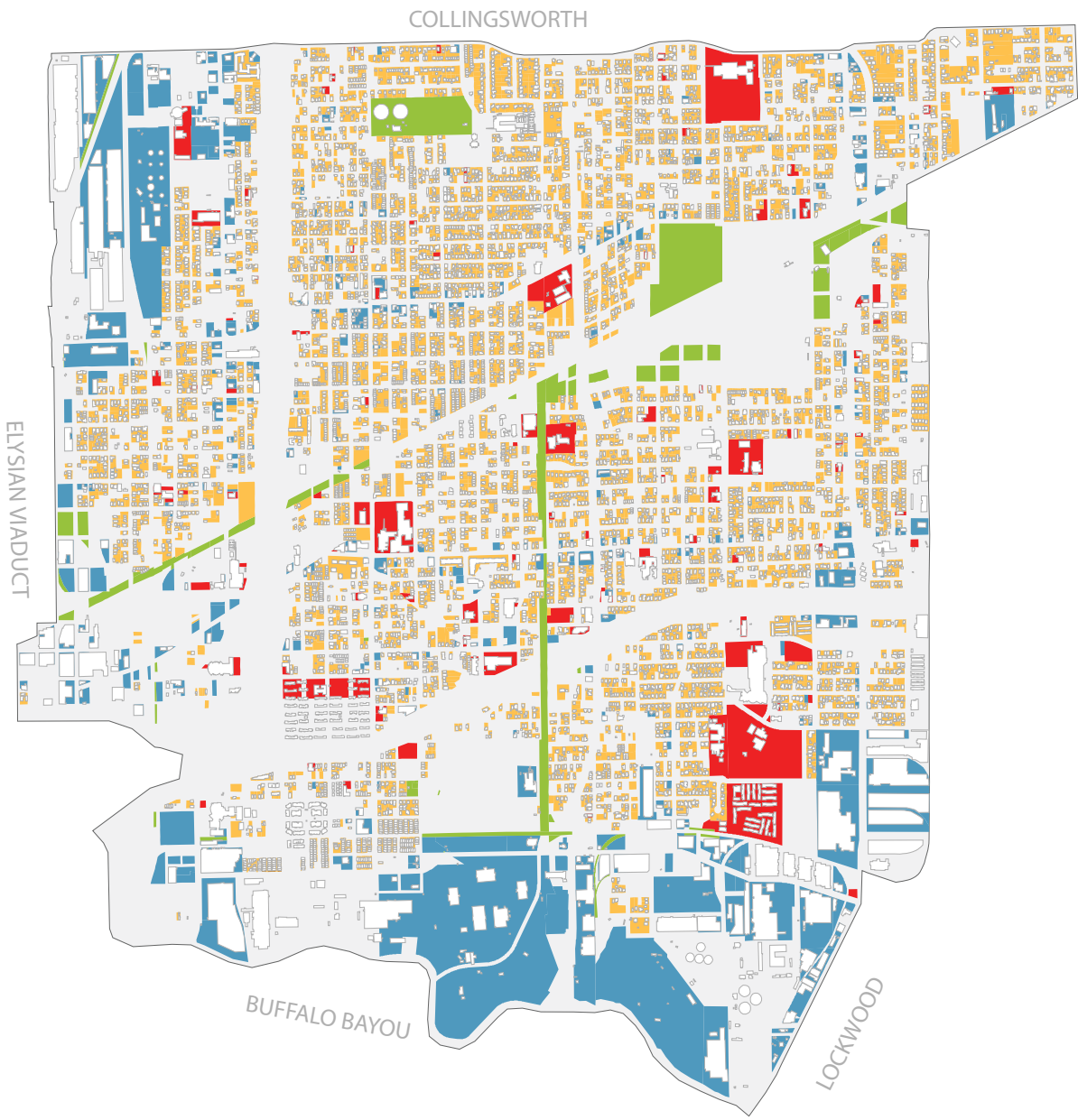
Metro Routes



100 - 500 Year Flood Plain



Fifth Ward



COLLINGSWORTH

ELYSIAN VIADUCT

BUFFALO BAYOU

LOCKWOOD



- 1 Driveway: side yard, paved
- 2 Cladding: wood siding, various applications
- 3 Cladding Application: chair rail datum, varying sizes
- 4 Roof: minimal overhang and sun protection

- 5 Entry Sequence: paved sidewalks to front doors
- 6 Sidewalk condition: curb, gutter, and sidewalks
- 7 Foundation: pier and beam
- 8 Garage: rear yard, detached



Providence Street  
Program: 2-3 bedroom 1-2 bath  
Home Size: 768 - 1,704 SF



- 1 Driveway condition: front yard, unpaved, curbcuts
- 2 Gable vent: prevalent
- 3 Cladding: wood clapboard
- 4 Typology: repetition of home forms, shotgun style

- 5 Porch Details: brick, wood, and metal columns
- 6 Window Trim: painted trim board
- 7 Foundation: pier and beam
- 8 Roof: minimal overhang and sun protection



Providence Street  
Program: 2-3 bedroom 1-2 bath  
Home Size: 768 - 1,704 SF





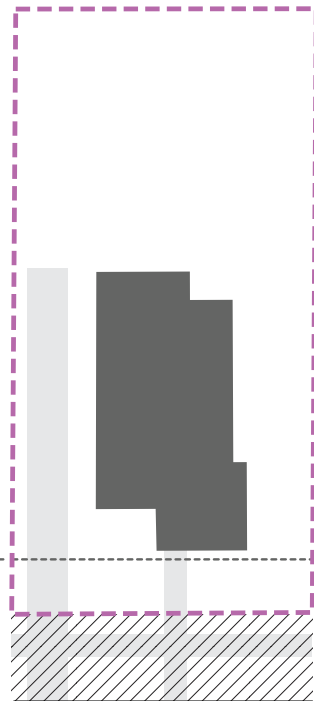
**Fifth Ward Typical Lot Size**

Typical Lot Dimensions: 50' x 100'  
 Typical Lot Area: 5000 sqft

Minimum Lot Width: 25'  
 Minimum Lot Length: 40'

Maximum Lot Width: 50'  
 Maximum Lot Length: 100'

Typical Front Setback: 15'



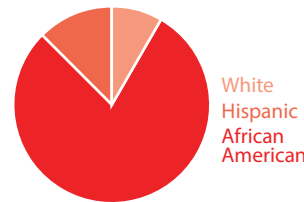
**Right of Way: Street Curb and Sidewalk**

Notes.

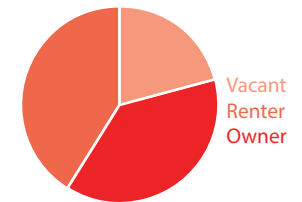
# OST/South Union

## Neighborhood Overview

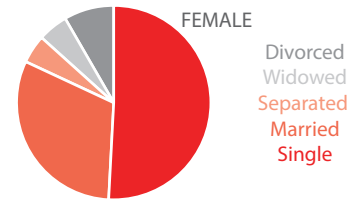
OST/South Union was rural and suburban when the area began development in the late 1940's. Heavily weeded lots measuring 50 feet by 100 feet were sold to young, African American WWII veterans and their families. Residents established their own municipal water district in the 1950's and many homeowners owned at least one car. Until annexation in 1957, the streets were dirt roads with open drainage ditches. This thriving community had its own modern grocery stores, meat markets, service stations, drive-in restaurant, churches, taxi cabs, ice cream parlors, barber shops, beauty shops, drug store, shoe shops, fire station, dry cleaners, and Sunnyside Elementary School. At one point, the nearby OST/South Union area had a private airstrip with two hangars, Baseball stadium, and horse racing tracks, all of which have since been demolished. After annexation South Union's urbanization and population began to increase rapidly and brought civic improvements to the neighborhood.



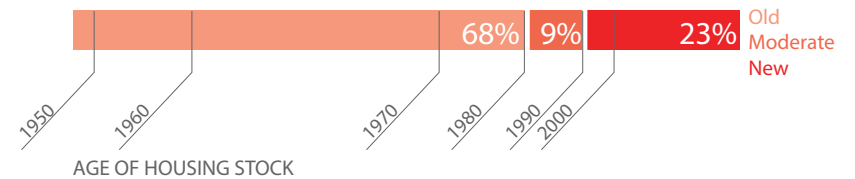
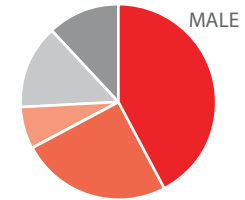
RACE



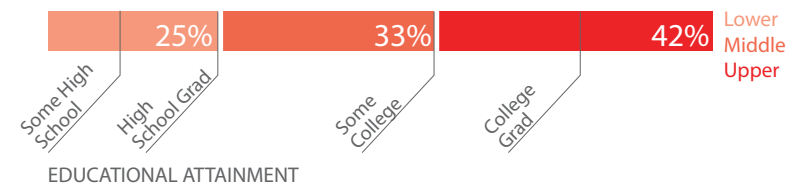
HOME OWNERSHIP



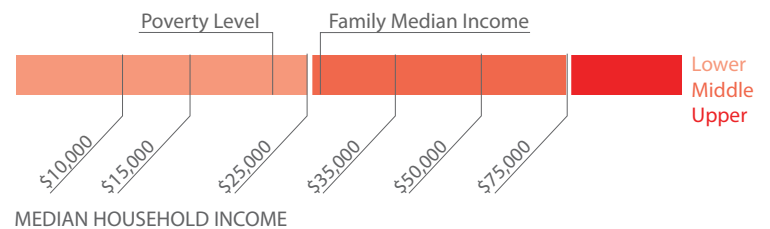
MARITAL STATUS



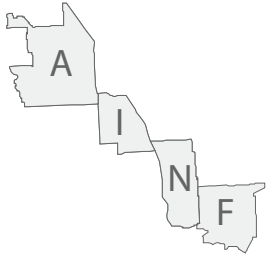
AGE OF HOUSING STOCK



EDUCATIONAL ATTAINMENT



MEDIAN HOUSEHOLD INCOME

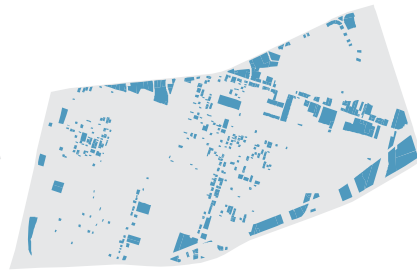




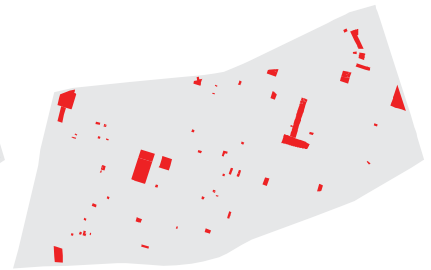
Building Footprint



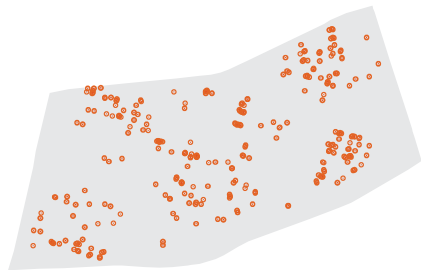
Residential



Commercial



Public Institutions



Homes Damaged by Ike



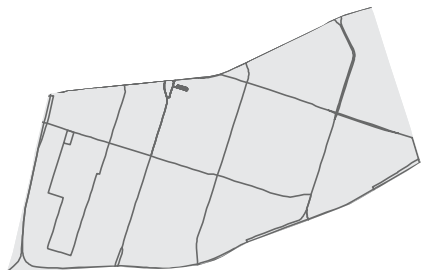
DR2 Applicants



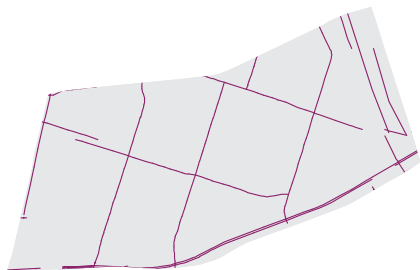
Schools



Transportation & Utilities



Major Arterials



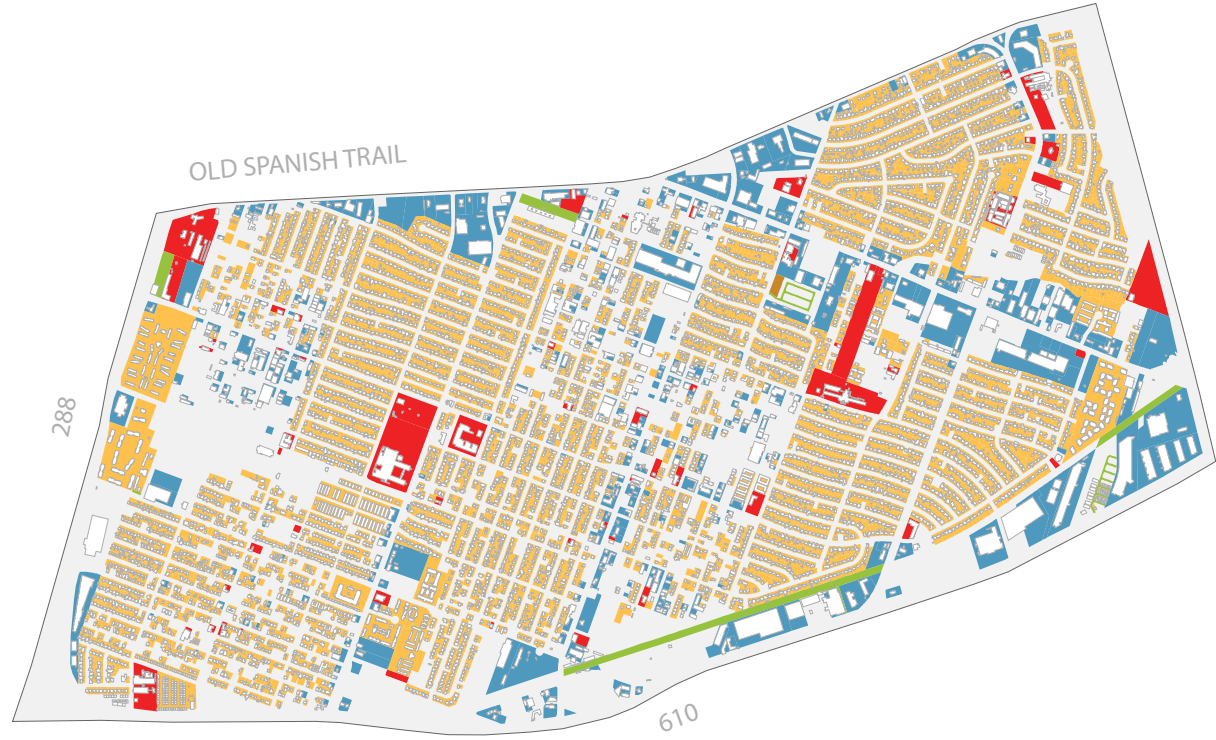
Metro Routes



100 - 500 Year Flood Plain



OST / South Union





- 1 Driveway: ribbon driveway
- 2 Garage: detached, rear yard
- 3 Cladding: wood, aluminum vinyl, brick veneer
- 4 Vegetation: well kept yards, young trees
- 5 Porch treatment: open porches, various sizes
- 6 Gable vent
- 7 Foundation: slab on grade
- 8 Window treatment: awnings, shutters



Arvilla Lane

Program: 3 bedroom 1 bath

Home Size: 1,244 - 1,684 SF





- 1 Window: various sizes, floor to ceiling
- 2 Pedestrian Path: walkways to front door
- 3 Cladding: wood, brick veneer
- 4 Entry: Double door entrance

- 5 Fence: rear yard
- 6 Grading: site work grades up to house
- 7 Foundation: slab on grade
- 8 Sidewalk: curb, gutter, and sidewalks



Arvilla Lane

Program: 3 bedroom 1 bath

Home Size: 1,244 - 1,684 SF



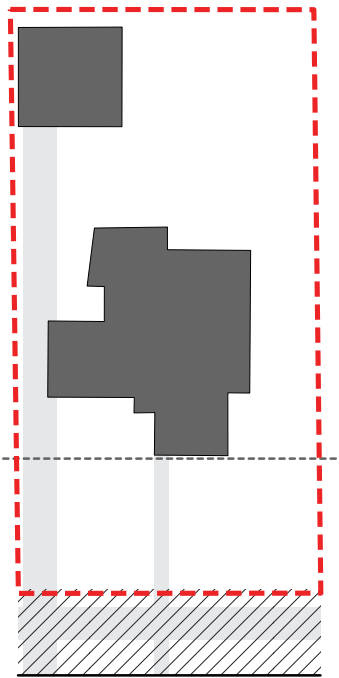
**OST / South Union Typical Lot Size**

Typical Lot Dimensions: 60' x 110'  
 Typical Lot Area: 6600 sqft

Minimum Lot Width: 55'  
 Minimum Lot Length: 90'

Maximum Lot Width: 80'  
 Maximum Lot Length: 150'

**Typical Front Setback: 25'**

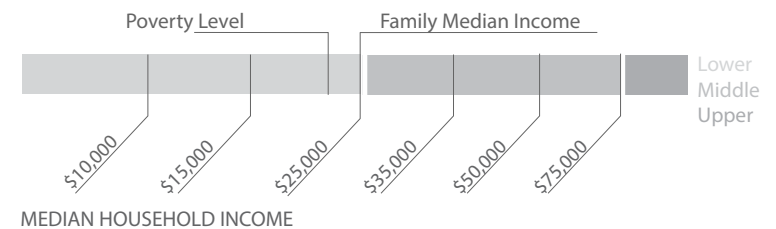
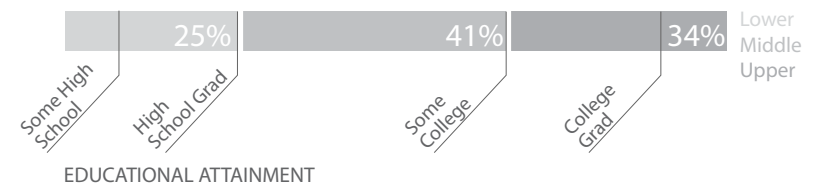
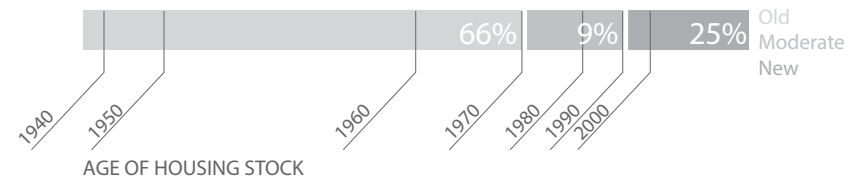
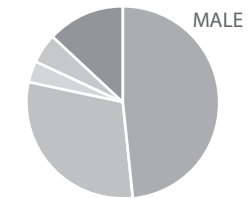
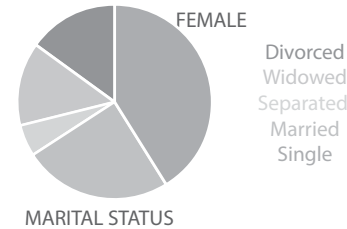
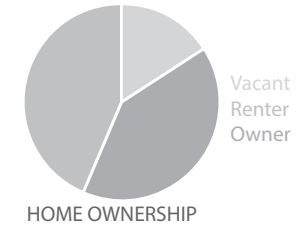
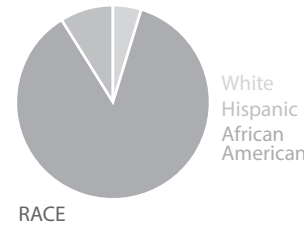


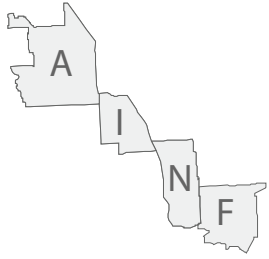
Notes.

# Sunnyside

## Neighborhood Overview

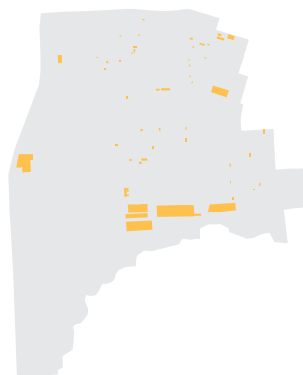
Sunnyside can be described as “rurban,” a word coined in 1918 which describes an area with a mix of urban and rural characteristics. When the earliest development took place circa 1912, the founder, H. H. Holmes, gave the land the name Sunny Side. In 1915, during the era of “Restricted Communities,” this was the first addition south of the city to be developed and offered exclusively to African Americans. Platted land was sold to individuals and roads were scarce, often needing to be established by residents themselves. In 1949 Brookhaven subdivision became first part of Sunnyside to be annexed into the City of Houston. In 1956 the rest of Sunnyside was annexed. Before annexation, however, the community of Sunnyside had built churches, and hosted the first school for African American children to become part of Houston ISD. A civic club was organized to provide better drainage, lighting, and civic improvements, and created its own water district and volunteer fire department. As new houses began to appear in Sunnyside in 2007, the community still had small churches, horse stalls, original frame houses, open ditches, uncontrolled garbage fires, and many vacant lots characteristic of rural landscapes.



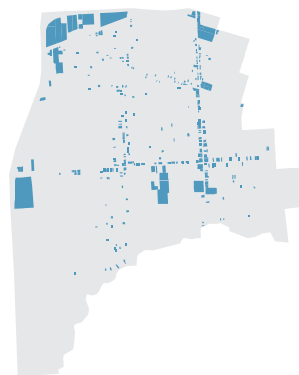




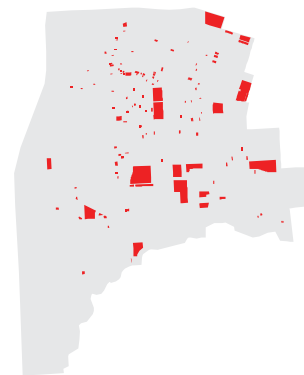
Building Footprint



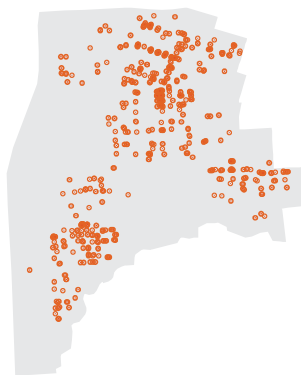
Residential



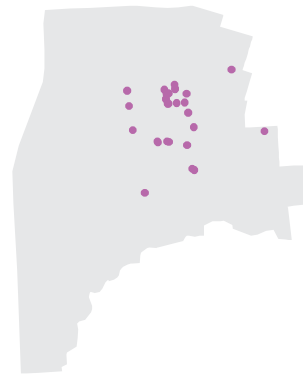
Commercial



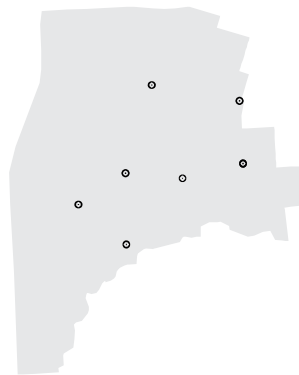
Public Institutions



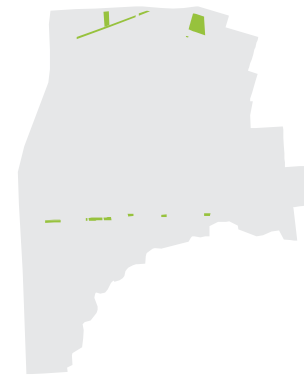
Homes Damaged by Ike



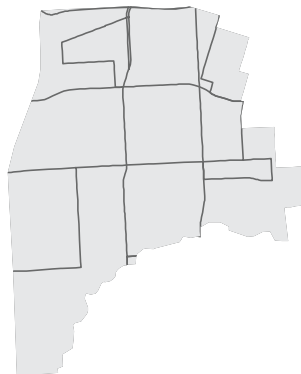
DR2 Applicants



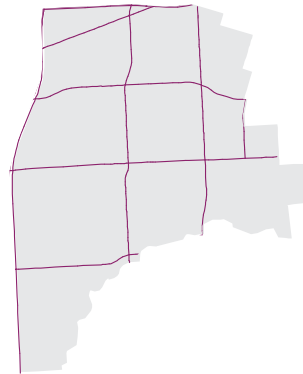
Schools



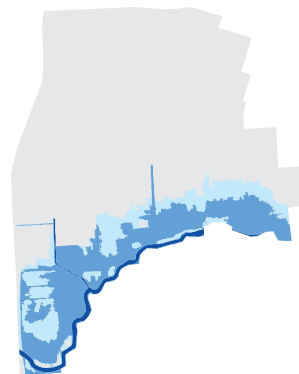
Transportation & Utilities



Major Arterials



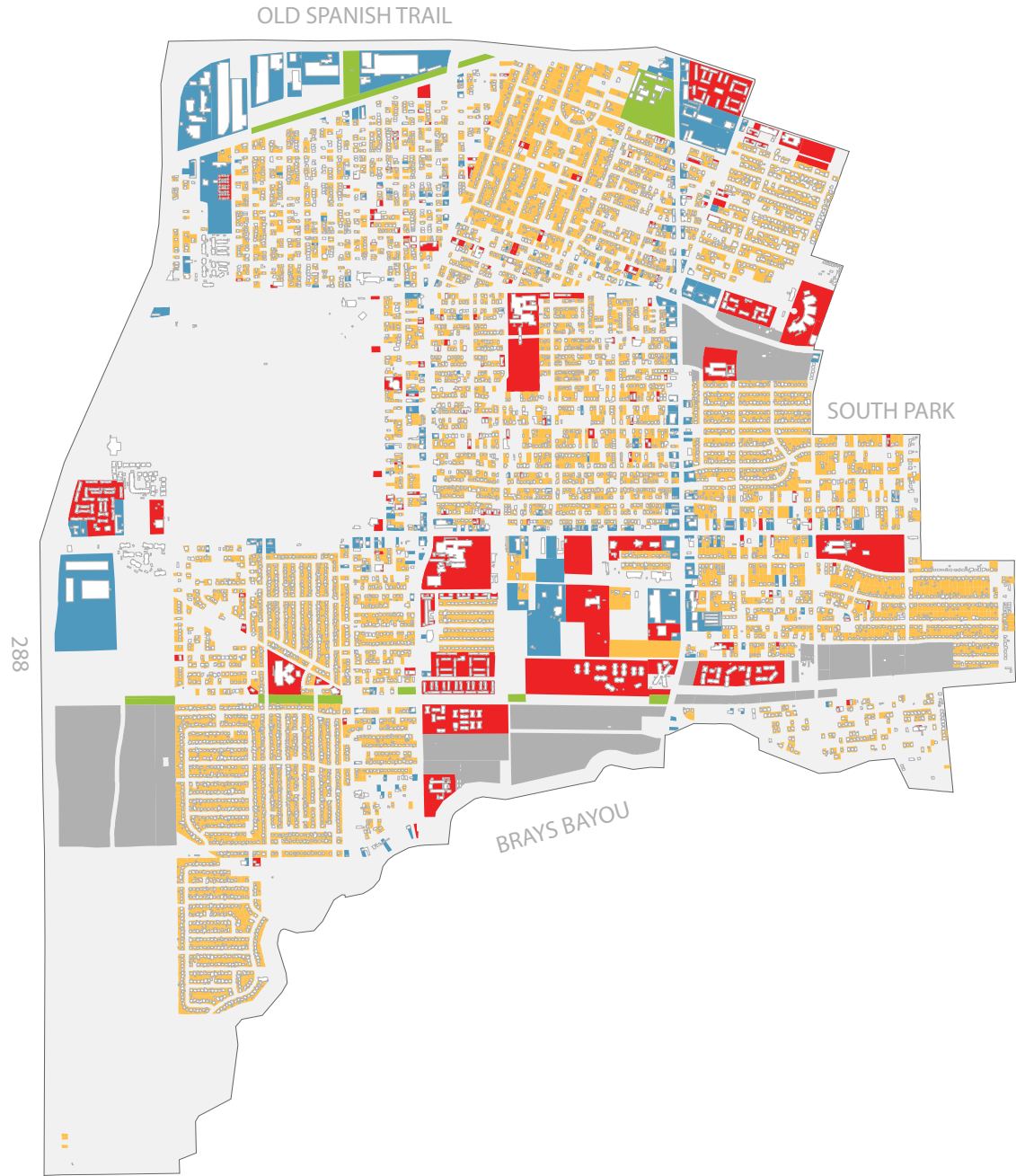
Metro Routes



100 - 500 Year Flood Plain



Sunnyside







- 1 Carport and Garage: front and side yards, metal cover
- 2 Ramp: accessibility path to the front door
- 3 Cladding: vertical wood board, horizontal siding
- 4 Exterior living: various sized porches & covered space

- 5 Roof: multiple gable forms
- 6 Stormwater: open system, ditch in public right of way
- 7 Foundation: slab on grade and pier and beam
- 8 Sidewalk: no curb and gutter



Davenport Street  
Program: 2-3 bedroom 1-2 bath  
Home Size: 652 - 1,800 SF



- 1 Carport and Garage: side yards, metal cover
- 2 Fence: front and side yard
- 3 Cladding: vertical wood board, horizontal siding
- 4 Porch: recessed and protruding porches

- 5 Driveway: side drive, unpaved
- 6 Typology: repetition of home forms
- 7 Color: accents used throughout
- 8 Sidewalk: no curb and gutter



Davenport Street  
Program: 2-3 bedroom 1-2 bath  
Home Size: 652 - 1,800 SF



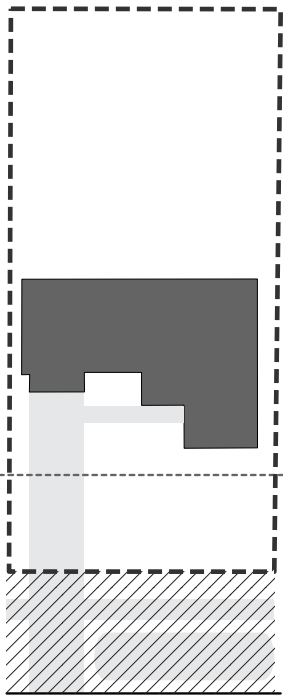
**Sunnyside Typical Lot Size**

Typical Lot Dimensions: 50' x 100'  
 Typical Lot Area: 6600 sqft

Minimum Lot Width: 40'  
 Minimum Lot Length: 90'

Maximum Lot Width: 70'  
 Maximum Lot Length: 170'

Typical Front Setback: 25'



**Right of Way: Street Curb and Sidewalk  
 and Drainage Ditch**

Notes.

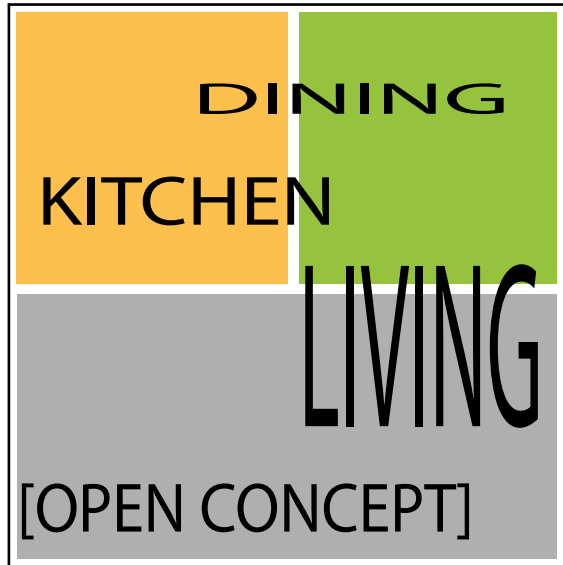
# DESIGN Parameters

## Program Overview

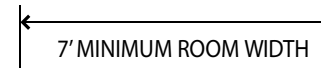
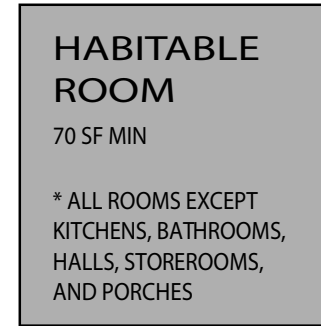
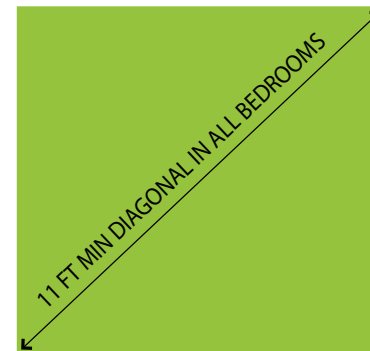
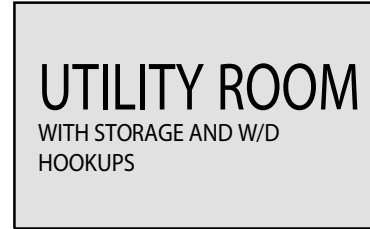
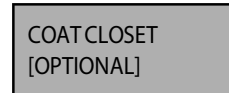
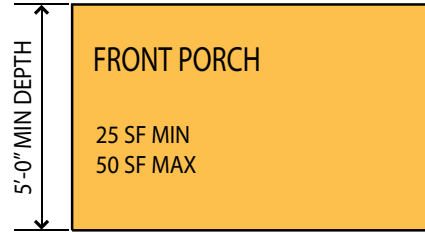
This section contains diagrams and potential room layouts based on the Program's Minimum Construction Standards and Design Guidelines as set by the State of Texas. These documents are also available online. Please see Resources, page 78.

Homes will be designed as a type 1(2BR, 1BA), a type 2(2BR, 2BA), a type 3(3BR, 2BA) or type 4(4BR, 2BA) with each having a corresponding square footage range. In all cases the homes will be a single story. Program elements are given on the opposite page and all homes must feature all required program elements.





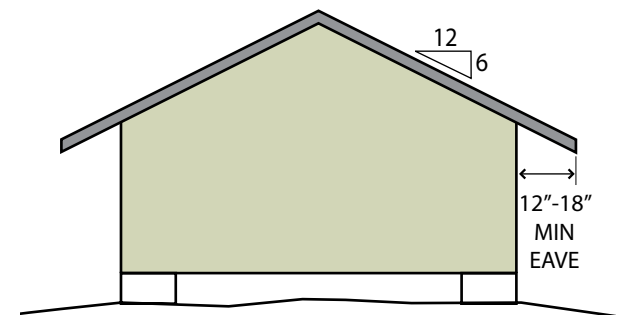
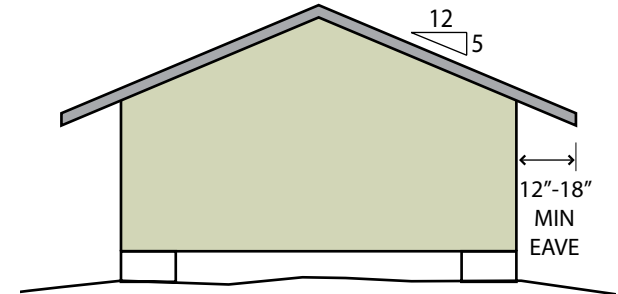
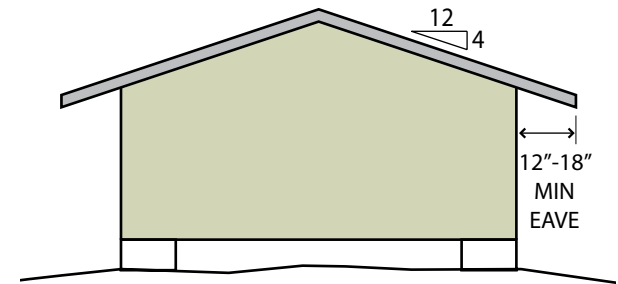
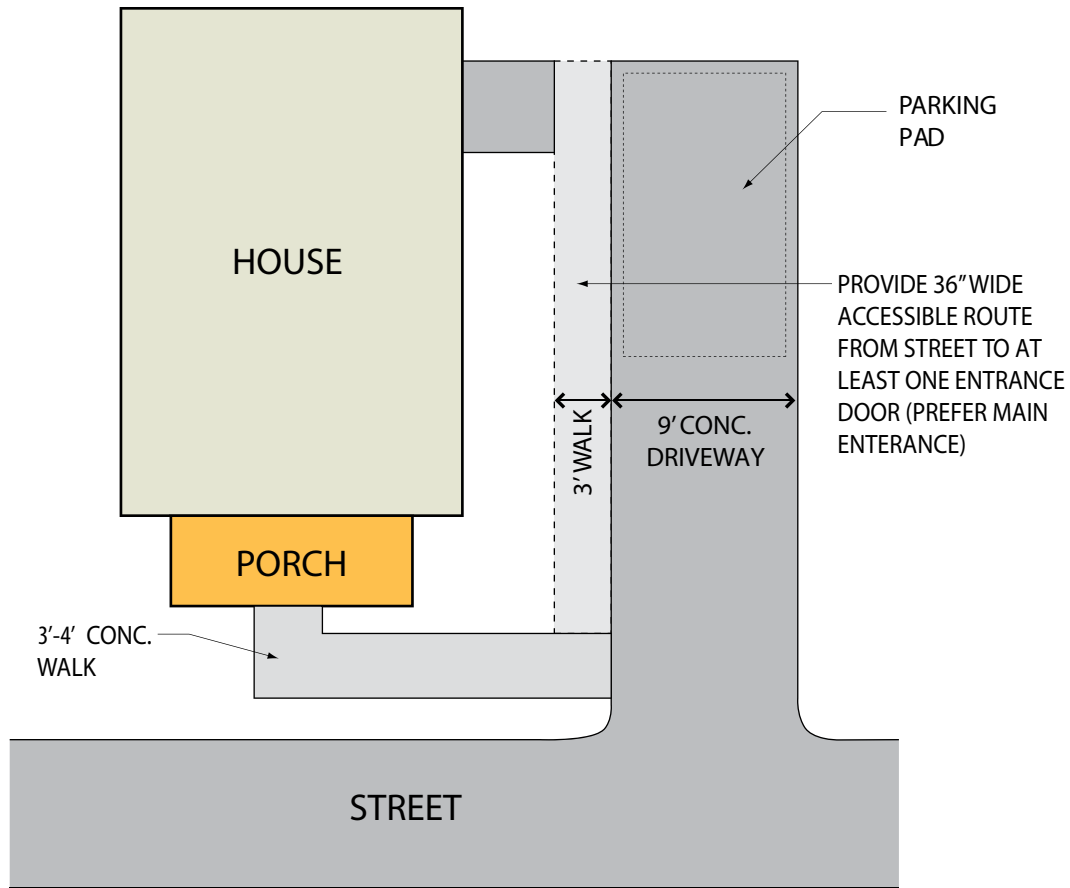
\*WALK-IN CLOSET AND MASTER BATH REQ'D IF PLAN HAS 2 OR MORE BATHROOMS



CLOSET REQ'D IN ALL BEDROOMS







## Site Design

### Minimum Site Standards

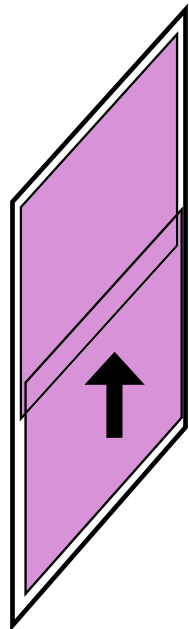
Sidewalks, driveways and parking pads shall be provided as required by Federal, State or local jurisdiction as follows:

1. A handicap accessible route shall be provided from the street to one entrance door of the house.
2. Sidewalks: 3 ft.- 4 ft. wide concrete sidewalk with specified finish from street to front porch.
3. Driveways and Parking Pads - If driveway or parking pad is required, 9 ft. wide concrete driveway with specified finish from street to parking pad.

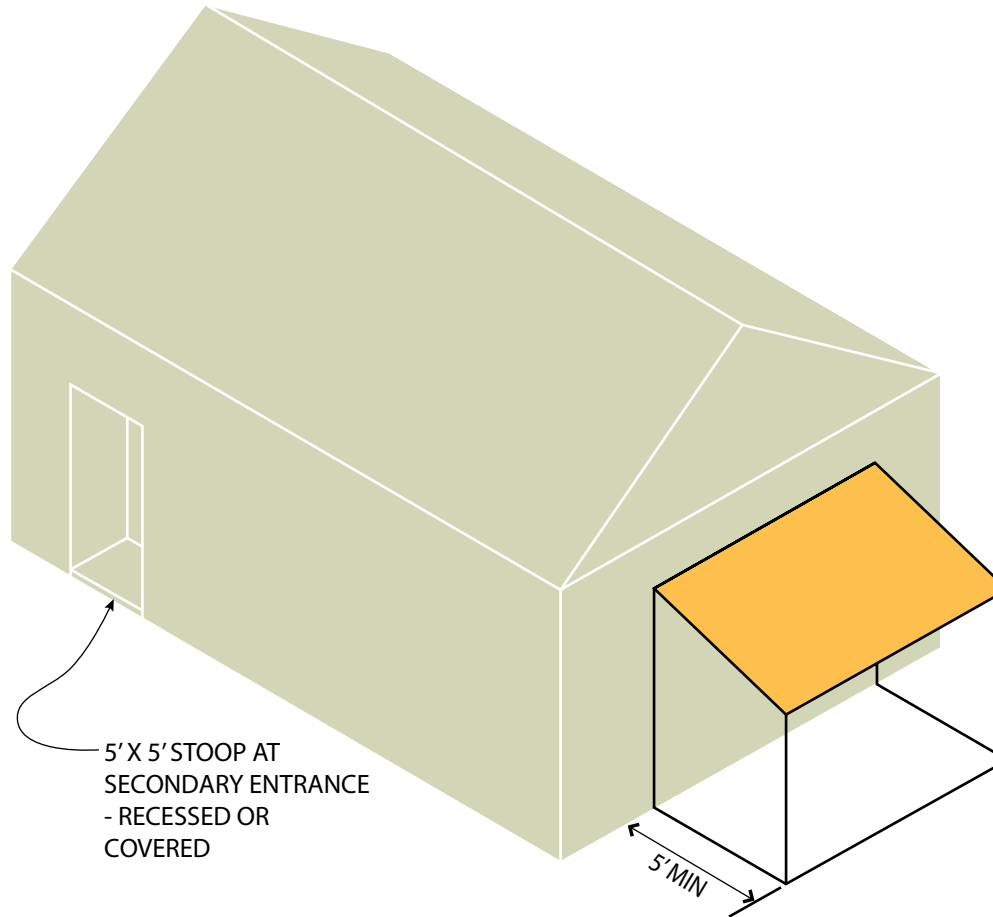
**GLAZING AREA PER ROOM**

30 SF - 45 SF	LIVING ROOM/ MASTER BR
30 SF MAX	DINING ROOM/ BEDROOMS
15 SF MAX	KITCHEN
9 SF MAX	BATHROOM

\*ALL HABITABLE ROOMS TO HAVE AT LEAST ONE OPERABLE WINDOW OR SKYLIGHT  
 \*\*NOT REQ'D IN BATHROOMS, KITCHENS, ETC. IF EQUIPED WITH VENTILATION SYSTEM



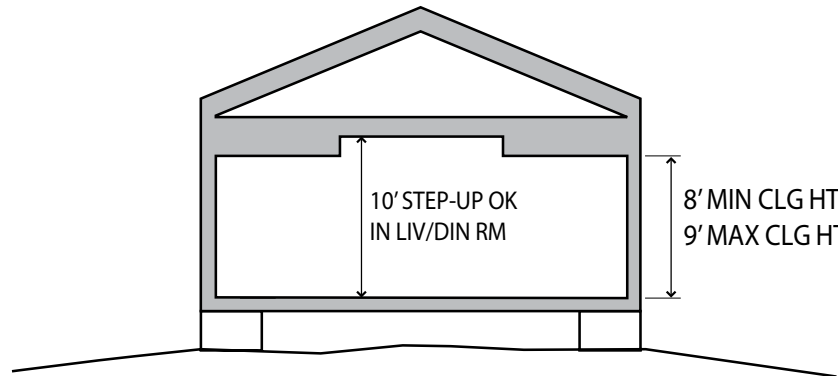
AT LEAST 50% OF ROOM **MINIMUM** WINDOW AREA TO BE OPERABLE



5' X 5' STOOP AT SECONDARY ENTRANCE - RECESSED OR COVERED

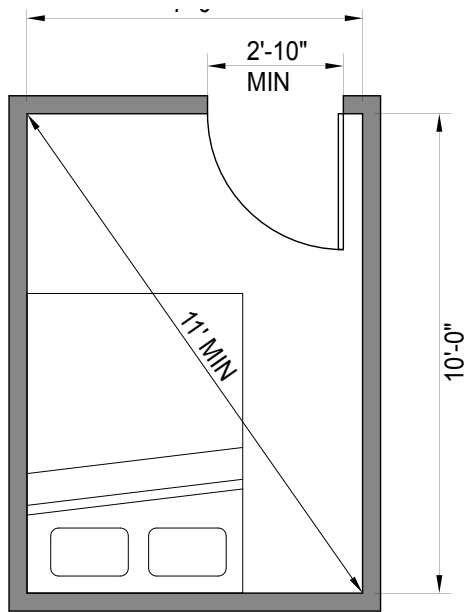
COVERED PORCH REQ'D  
 MIN FRONT PORCH DEPTH - 5FT  
 25 SF MIN  
 50 SF MAX

5' MIN

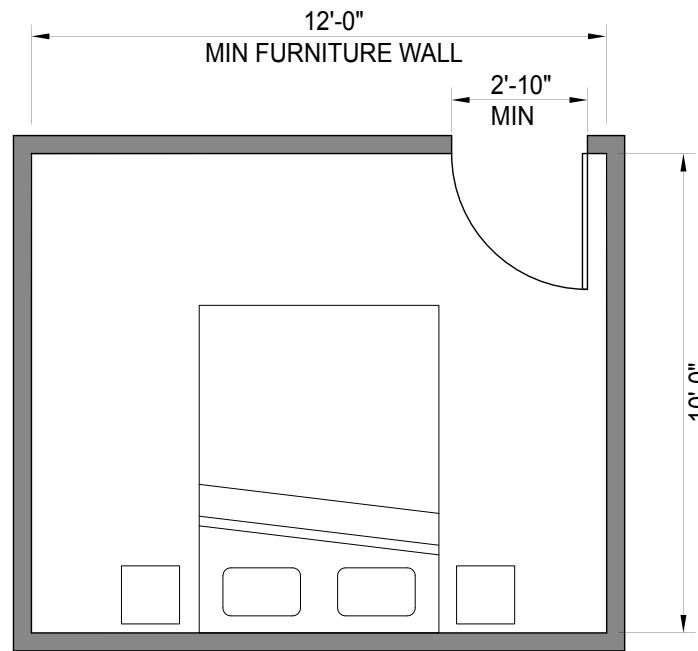


10' STEP-UP OK IN LIV/DIN RM

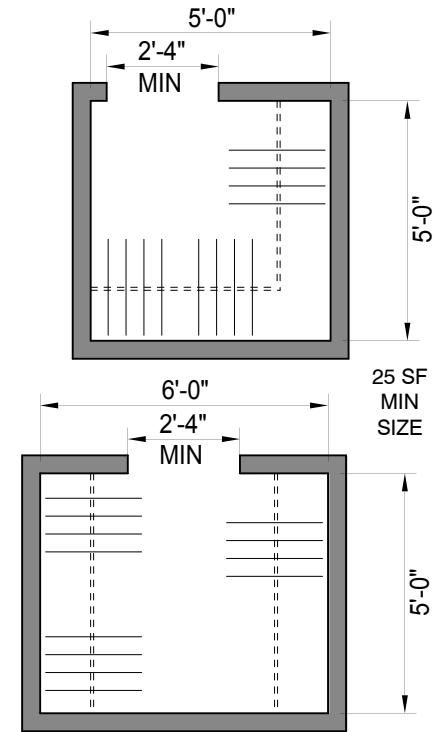
8' MIN CLG HT  
 9' MAX CLG HT



**MIN BEDROOM SIZE**



**MASTER BEDROOM**



**WALK-IN CLOSET**

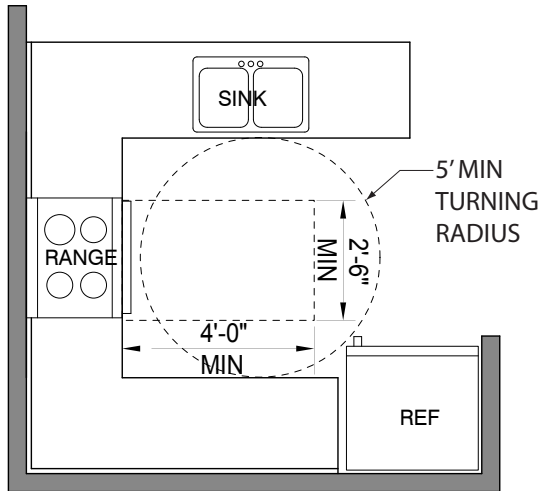
## Bedroom and Closet Requirement

### Minimum Design Standards

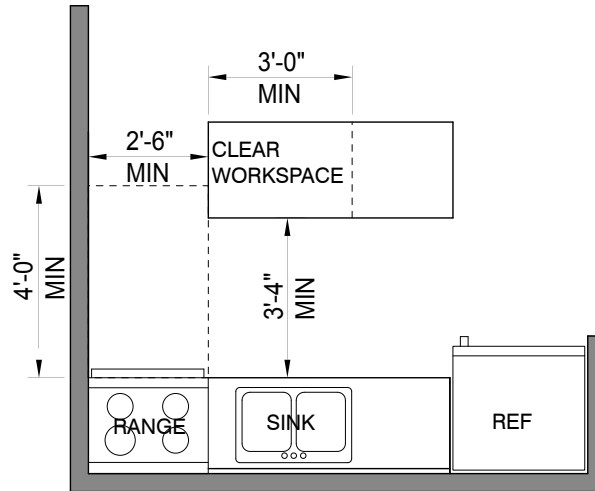
A master bedroom with a walk-in closet and master bathroom is required if the home has two or more bathrooms.

All bedrooms must include a min 5ft x 2ft closet (18sf max).

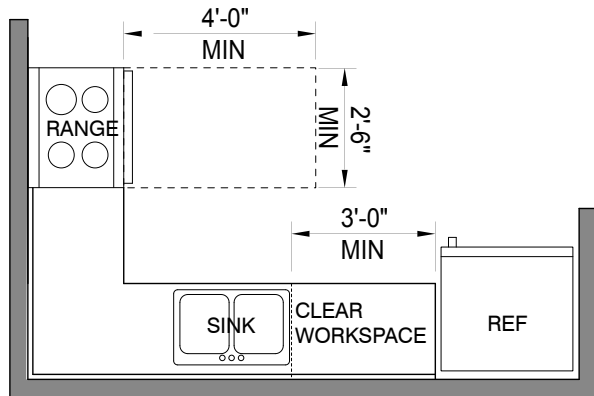
Coat closet is optional.



**KITCHEN - U-SHAPED**  
ACCESSIBLE



**KITCHEN - WITH ISLAND**  
ACCESSIBLE

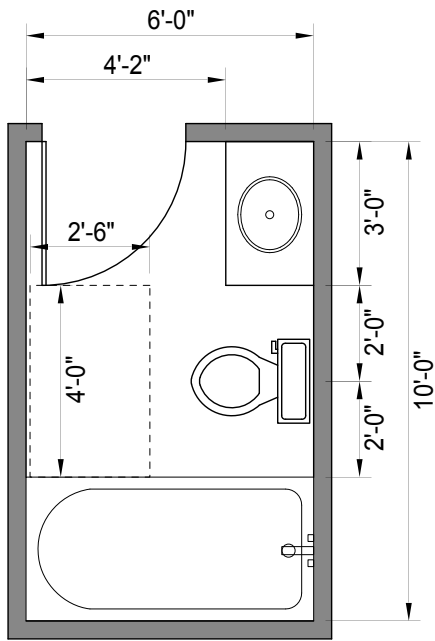


**KITCHEN - OPEN**  
ACCESSIBLE

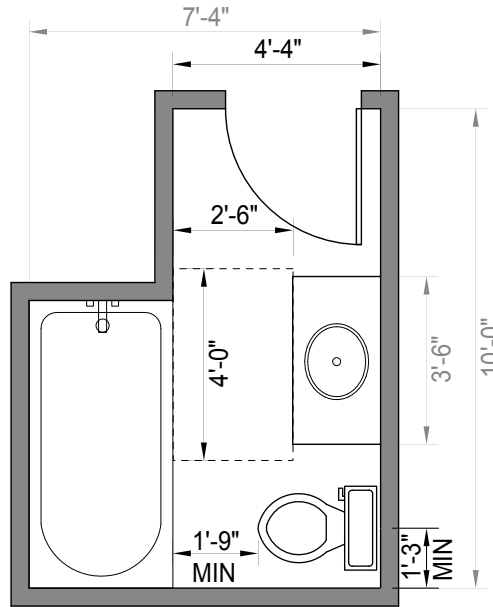
## Kitchen Design Requirements

All kitchens shall have adequate food storage facilities including at least three linear feet of counter area for food preparation and adequate cabinet space.

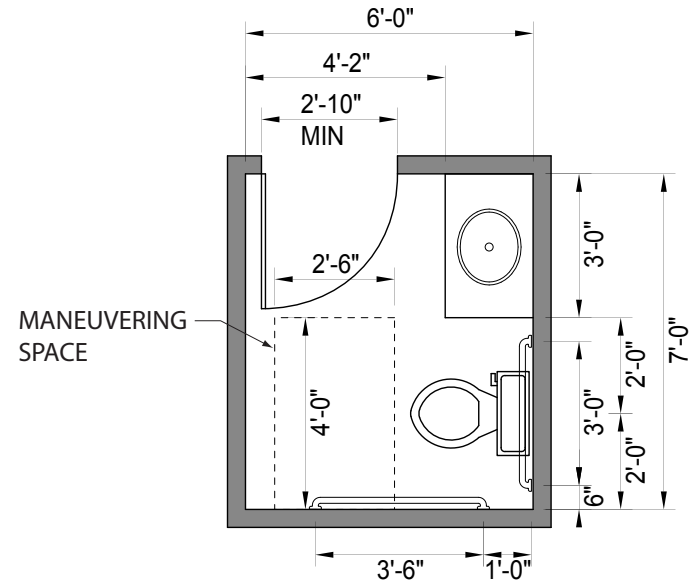
All kitchens shall have a working refrigerator/freezer, cook-top and oven. A dishwasher is not required, but space for one is encouraged to accommodate homeowner preferences.



**BATHROOM LAYOUT**  
NON-ACCESSIBLE



**BATHROOM LAYOUT**  
NON-ACCESSIBLE

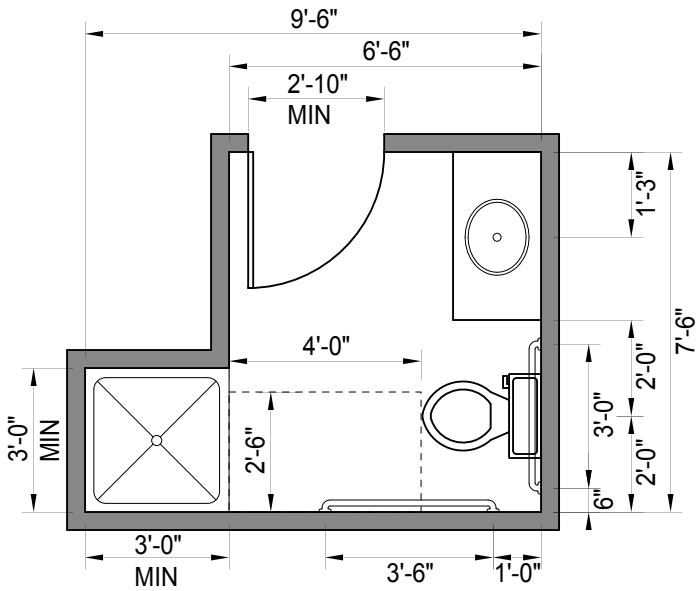


**HALF BATH LAYOUT**  
ACCESSIBLE

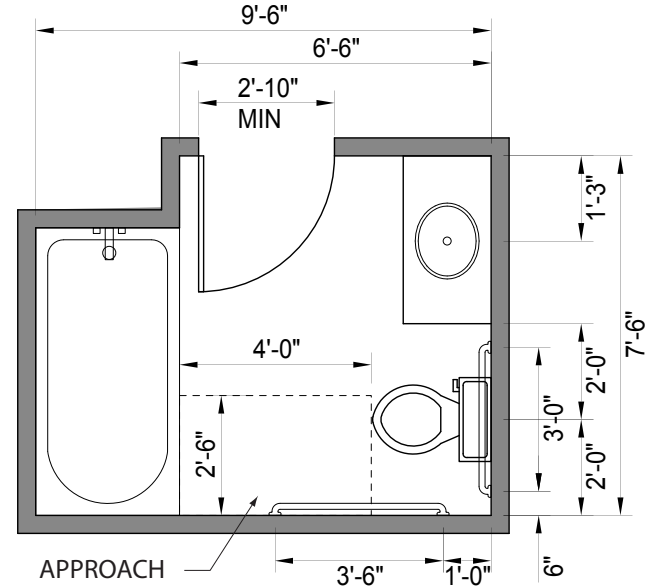
## Bathroom Design Requirements

Shown above are possible layouts for bathrooms that meet the design guidelines. Although accessible bathrooms are only required when the customer requests them, designs should be easily adaptable and therefore should include at least one “accessible ready” bathroom. In this case the second bathroom need not be accessible or “accessible ready”.

Where two bathrooms are included, only one must contain a bath tub. The other may contain a walk-in shower stall.



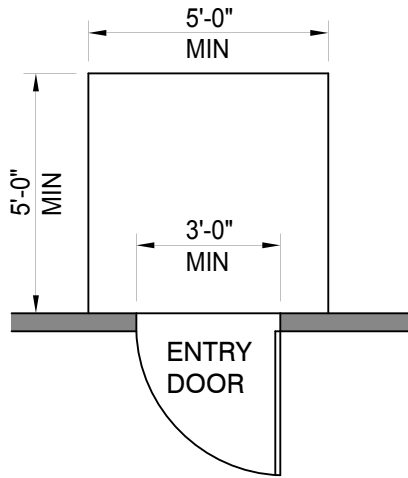
**BATHROOM LAYOUT**  
ACCESSIBLE



APPROACH  
SPACE REQ'D @  
FT OF TUB

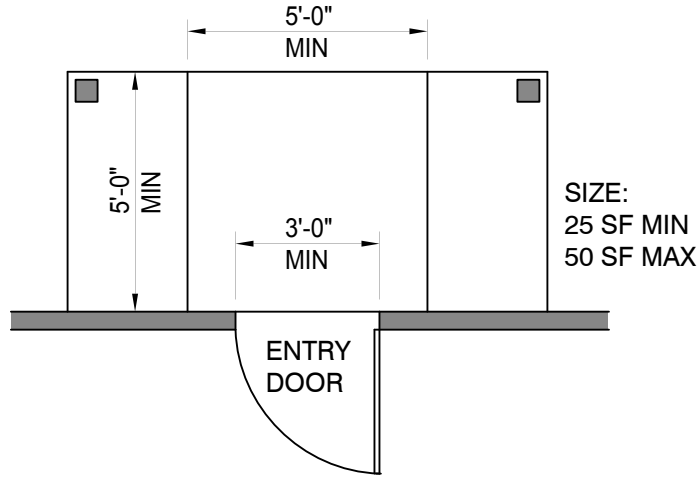
**BATHROOM LAYOUT**  
ACCESSIBLE

STOOP REQ'D AT  
SECONDARY ENTRY  
- COVER PREF.

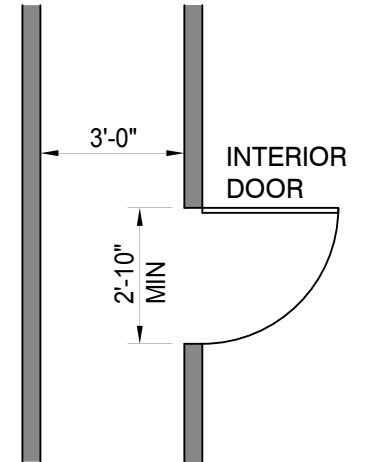


SECONDARY ENTRY

ACCESSIBLE ROUTE TO  
FRONT PORCH OR SIDE  
ENTRY REQ'D



FRONT PORCH



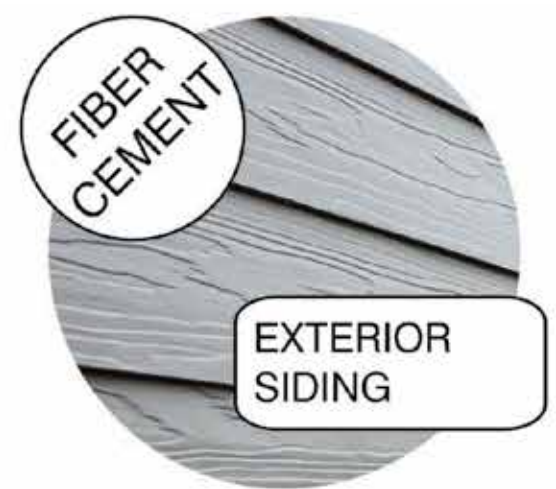
HALLWAY/CORRIDOR

## Other Design Elements

All homes must include an entry porch and a secondary entrance. The secondary entrance should be covered and located in the rear or on the side of the home.

Exterior entrance doors shall be 3'-0" wide, while interior doors shall be 2'-10" wide min. Closet doors shall be min 2'-4" wide where accessibility is not required.

Bay windows - optional in living and/or dining rooms - shall not be deeper than 1'-6".



## Simple Construction

Homes shall be simply constructed of durable materials. An emphasis on quality detailing over design expression is preferred. While designs should be unique and contextually based, this exercise must be seen as an opportunity to provide well detailed, architect designed homes on a large scale to a typically underserved segment of the population.



# Resources

## City of Houston

**Housing & Community Development Department**  
[houstontx.gov/housing](http://houstontx.gov/housing)

## Project Standards and Guidelines

**Disaster Recovery - Round 2 Market Analysis / Area Selection**  
[houstontx.gov/housing/pdf/DR2\\_Planning\\_Study.pdf](http://houstontx.gov/housing/pdf/DR2_Planning_Study.pdf)

**Disaster Recovery Program Ike and Dolly Round 2 Minimum Design Standards**  
[houstontx.gov/housing/pdf/DR2\\_Planning\\_Study.pdf](http://houstontx.gov/housing/pdf/DR2_Planning_Study.pdf)

### **The Housing Design Standards**

[glo.texas.gov/GLO/\\_documents/disasterrecovery/housing/subrecipients/design-standards-combined.pdf](http://glo.texas.gov/GLO/_documents/disasterrecovery/housing/subrecipients/design-standards-combined.pdf)

### **The Housing Design Specifications**

[glo.texas.gov/GLO/\\_documents/disasterrecovery/housing/subrecipients/housing-construction-specs.pdf](http://glo.texas.gov/GLO/_documents/disasterrecovery/housing/subrecipients/housing-construction-specs.pdf)

### **The GLO Construction Manual**

[glo.texas.gov/GLO/\\_documents/disaster-recovery/housingconstructionmanual.pdf](http://glo.texas.gov/GLO/_documents/disaster-recovery/housingconstructionmanual.pdf)

### **The Hurricane Ike Round 2 Guidelines**

[glo.texas.gov/GLO/\\_documents/disasterrecovery/housing/subrecipients/ike-round2-housing-program-guidelines.pdf](http://glo.texas.gov/GLO/_documents/disasterrecovery/housing/subrecipients/ike-round2-housing-program-guidelines.pdf)

## Houston Recovery Grant Administrator

**Horne LLP**

[www.horne-llp.com](http://www.horne-llp.com)

## Design Team

**buildingcommunityWORKSHOP**

[bcworkshop.org](http://bcworkshop.org)

contact Ann Panopio at [Ann@bcworkshop.org](mailto:Ann@bcworkshop.org)

**Community Design Resource Center**

**University of Houston**

[cdrhouston.org](http://cdrhouston.org)

contact Susan Rogers at [skrogers@central.uh.edu](mailto:skrogers@central.uh.edu)

**Gulf Coast Community Design Studio**

[gccds.org](http://gccds.org)

contact Mike Grote at [mgrote@gccds.msstate.edu](mailto:mgrote@gccds.msstate.edu)

**unabridged Architecture**

[unarch.com](http://unarch.com)

contact Steve Miller at [steve@unarch.com](mailto:steve@unarch.com)

## Local Design Architects

**Brett Zamore Design**

[brettzamoredesign.com](http://brettzamoredesign.com)

**Cedric Douglas**

**Glassman Shoemake Maldonado Architects**

[gsmarchitects.net](http://gsmarchitects.net)

**M+A Architecture Studio**

[maarchitecturestudio.com](http://maarchitecturestudio.com)

**MC2 Architects**

[mc2architects.com](http://mc2architects.com)

**McIntyre and Robinowitz**

[mcintyrerobinowitz.com](http://mcintyrerobinowitz.com)

**MetaLab studio**

[metalabstudio.com](http://metalabstudio.com)

**Lantz Full Circle/Enter Architecture**

[lantzfullcircle.com](http://lantzfullcircle.com)

**Logan and Johnson**

[loganandjohnson.com/](http://loganandjohnson.com/)

**Taft Architects+MetaLAB**

[taftarchitects.com](http://taftarchitects.com)

